

**TOWNSHIP OF SOUTH GLENGARRY  
REGULAR MEETING OF COUNCIL  
Council Chambers, Municipal Office  
Tuesday, May 19, 2020 7:00 PM**

Page

<b>1. CALL TO ORDER</b>	
<b>2. O CANADA</b>	
<b>3. APPROVAL OF AGENDA</b>	
a) Additions, Deletions or Amendments	
All matters listed under For Information Only, are considered to be routine and will be enacted by one motion. Should a Council member wish an alternative action from the proposed recommendation, the Council member shall request that this matter be moved to the appropriate section at this time.	
<b>4. DECLARATION OF PECUNIARY INTEREST</b>	
a) <a href="#">Pecuniary Interest Form</a>	4
<b>5. APPROVAL OF MINUTES</b>	
a) <a href="#">Previous Meeting Minutes - May 4, 2020</a>	5 - 8
<b>6. PRESENTATIONS AND DELEGATIONS</b>	
a) <a href="#">Backyard Chickens – J. Haley</a>	9 - 31
b) <a href="#">Community Improvement Plan Amendments - J. Haley</a>	32 - 48
<b>7. NEW BUSINESS</b>	
a) <b>Staff Reports</b>	
i. <a href="#">Removal of Holding Symbol from the Flood Plain Holding Zone, Senecal Property - J. Haley</a>	49 - 53
ii. <a href="#">Township Signage Policy - J. Haley</a>	54 - 57
iii. <a href="#">Request for Funding - Glengarry County Archives (L. McDonald)</a>	58 - 60

iv.	<a href="#">Civic Addressing By-law 24-2020 - G. Poupart</a>	61 - 71
v.	<a href="#">Waste Collection Contracts - E. MacDonald</a>	72 - 74
vi.	<a href="#">Public Works Facility Plans - E. MacDonald</a>	75 - 91
<b>b)</b>	<b>Other Business</b>	
<b>c)</b>	<b>Committee Reports</b>	
<b>d)</b>	<b>For Information Only</b>	
i.	<a href="#">2020 - Revenue Review - YTD as of April 30</a>	92 - 99
ii.	<a href="#">Fire Department Monthly Update April 2020</a>	100 - 101
iii.	<a href="#">AGCO- Temporary Change for Cideries</a>	102 - 104
iv.	<a href="#">Consent Summary 2020</a>	105
v.	<a href="#">Notice of Consent Decision</a>	106 - 108
vi.	<a href="#">Consent Application B-27-20</a>	109 - 112
vii.	<a href="#">Resolution - Support for Commercial Rent Assistantance Program (Town of Grimsby)</a>	113 - 115
viii.	<a href="#">Resolution - Request to Regulate and Enforce Lighting and Odour Nuisance Related to Cannabis Cultivation (City of Hamilton)</a>	116 - 117
ix.	<a href="#">Resolution - Rural Internet (Township of Armour)</a>	118 - 120
x.	<a href="#">Newsletter- Children's Treatment Centre Update</a>	121 - 122
<b>8.</b>	<b>UNFINISHED BUSINESS</b>	
a)	<a href="#">Unfinished Business Listing - May 19, 2020</a>	123 - 125
<b>9.</b>	<b>CLOSED SESSION</b>	
<b>10.</b>	<b>CONFIRMING BY-LAW</b>	
a)	<a href="#">Confirming By-law 28-2020</a>	126
<b>11.</b>	<b>ADJOURNMENT</b>	





**DECLARATION OF PECUNIARY INTEREST**

I, \_\_\_\_\_, declare a pecuniary interest on Agenda Item(s) for the meeting of \_\_\_\_\_:

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**Signature**

## MINUTES

THE REGULAR MEETING OF THE COUNCIL OF THE CORPORATION OF THE TOWNSHIP OF SOUTH GLENGARRY WAS HELD AS AN ELECTRONIC MEETING IN THE EVENING ON MAY 4, 2020

PRESENT: Mayor Frank Prevost, Deputy-Mayor Lyle Warden, Councillor Stephanie Jaworski, Councillor Martin Lang, and Councillor Sam McDonell

STAFF PRESENT: CAO Tim Mills, Clerk Kaylyn MacDonald, GM Community Services Joanne Haley, GM Infrastructure Services Ewen MacDonald, GM Corporate Services Lachlan McDonald, Fire Chief Dave Robertson.

1. CALL TO ORDER

**Resolution No. 139-2020**

Moved by Deputy Warden  
Seconded by Councillor Lang

BE IT RESOLVED THAT the Council Meeting of the Township of South Glengarry now be opened at 7:01pm.

CARRIED

2. O CANADA

3. APPROVAL OF AGENDA

**Resolution No. 140-2020**

Moved by Councillor Jaworski  
Seconded by Councillor McDonell

BE IT RESOLVED THAT the Council of the Township of South Glengarry approve the agenda as amended.

Items moved to Other Business:

7. iii) Resolution – Provincially Significant Wetlands Designation (Township of Perth South)

7. i) Savings – Street Lights

CARRIED

4. DECLARATION OF PECUNIARY INTEREST - None

5. APPROVAL OF MINUTES

a) Previous Meeting Minutes - April 20, 2020

**Resolution No. 141-2020**

Moved by Councillor Lang  
Seconded by Councillor Jaworski

BE IT RESOLVED THAT the Minutes of the Regular Meeting of the

Council of the Township of South Glengarry held on April 20, 2020 be adopted as circulated.  
CARRIED

6. PRESENTATIONS AND DELEGATIONS - None

7. NEW BUSINESS

a) Staff Reports

i) Amend Interim Tax By-Law 02-2020

**Resolution No. 144-2020**

Moved by Councillor McDonell

Seconded by Deputy Warden

BE IT RESOLVED THAT Staff Report 58-2020 be received and that the Council of the Township of South Glengarry approves By-Law 25-2020, being a by-law to amend By-Law 02-2020, establishing an interim tax levy, be read a first, second, and third time, passed, signed, and sealed in Open Council this 4th day of May, 2020.

CARRIED

ii) High Water Bill Adjustment Program

**Resolution No. 145-2020**

Moved by Councillor Jaworski

Seconded by Councillor Lang

BE IT RESOLVED THAT Staff Report 59-2020 be received and that the Council of the Township of South Glengarry direct Staff to implement the amended 2020 schedule "F" for By-Law 39-09, retroactive to December 1, 2018.

CARRIED

iii) Reserve Transfers - 2019 to 2020

**Resolution No. 146-2020**

Moved by Councillor McDonell

Seconded by Deputy Warden

BE IT RESOLVED THAT Staff Report 60-2020 be received and that the Council of the Township of South Glengarry approve the 2019 transfers to reserves as presented.

CARRIED

iv) Civic Addressing Bylaw 24-2020

**Resolution No. 142-2020**

Moved by Councillor Lang

Seconded by Councillor Jaworski

BE IT RESOLVED THAT Staff Report No. 61-2020 be received and that By-law 24-2020, being a by-law to regulate Civic Addresses in the Township of South Glengarry be read a first and second time this 4th day of May 2020.

CARRIED

- v) FARM 911 Signage - Emily Project Funding

**Resolution No. 143-2020**

Moved by Councillor McDonell

Seconded by Deputy Warden

BE IT RESOLVED THAT Staff Report No. 62-2020 be received and that Council directs administration to allocate the \$5000 grant as outlined in Option B

A: all applications subsidized by 100% until the grant is exhausted.

B: all applications subsidized by 50% until the grant is exhausted.

CARRIED

- b) Other Business

- i) Notice of Motion for Consideration at this Meeting

**Resolution No. 147-2020**

Moved by Deputy Warden

Seconded by Councillor Jaworski

BE IT RESOLVED THAT the Council receives the resolution from the Municipality of Grey Highlands related to the support of Electronic Delegations; and

That the Township of South Glengarry sends a letter of support in principle with respect to the Township of Greater Madawaska's Council resolution calling for electronic delegations for small and rural municipalities as this Provincial Government has requested municipalities be respectful of taxpayers' money, and that the technology has improved to a state where this can and should be done; and

That this letter be circulated to local municipalities, to MPP Jim McDonell, MPP Steven Clark, MP Eric Duncan and all Ontario Municipalities.

CARRIED

- ii) Request from Glengarry Archives

**Resolution No. 148-2020**

Moved by Councillor McDonell

Seconded by Deputy Warden

BE IT RESOLVED THAT Council requests administration prepare a Staff Report to outline options regarding the Glengarry Archives request for additional funding.

CARRIED

**Resolution No. 149-2020**

Moved by Deputy Warden

Seconded by Councillor Lang

BE IT RESOLVED THAT Council supports the request from the Glengarry Archives for a loan of \$22,000 to be repaid in the fall of 2020.

CARRIED

**Resolution No. 150-2020**

Moved by Councillor Lang  
Seconded by Councillor Jaworski

BE IT RESOLVED THAT the Council of the Township of South Glengarry accepts the items presented on the agenda as Committee Reports and For Information Only.

CARRIED

c) Committee Reports

- i. RRCA February 2020 Minutes

d) For Information Only

- i. Options for Charitable Lotteries
- ii. Resolutions - Community Gardens Garden Centres and Nurseries

8. UNFINISHED BUSINESS

- b. Unfinished Business Listing May 4 2020

9. CLOSED SESSION

10. CONFIRMING BY-LAW

**Resolution No. 151-2020**

Moved by Deputy Warden  
Seconded by Councillor McDonell

BE IT RESOLVED THAT By-law No.26-2020 to adopt, confirm and ratify matters dealt with by resolution, be read a first, second and third time, passed, signed and sealed in Open Council.

CARRIED

11. ADJOURNMENT

**Resolution No. 152-2020**

Moved by Councillor Jaworski  
Seconded by Councillor Lang

BE IT RESOLVED THAT the Council of the Township of South Glengarry adjourn to the call of the chair at 8:07pm.

CARRIED

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Mayor

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Clerk



# Backyard Chickens

## South Glengarry Council Meeting May 19, 2020

Joanne Haley- GM, Community  
Services

# Reason to Review Bylaw

- A property owner petitioned Council to permit backyard chickens in a residential zone located in an Urban Settlement Area
- Council directed staff to review options

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# Current Policy – Zoning By-law 38-09

## 3.32 PROHIBITED USES

- “Except as specifically permitted in this by-law, the **following uses are prohibited: 3.32(1) The keeping or raising of any horse, bull, ox, sheep, goat, pig, or other cattle, or any poultry in any residential zone**”

## 10.2 Rural Zone Permitted Use

- Agricultural use – only be permitted on properties having an area of 2.5 hectares or greater

## 10.2 Agricultural Zone - Permitted Uses

- Agricultural use- only be permitted on properties having an area of 20 hectares

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# SDG Municipalities

- In Urban Settlement Areas:
  - South Dundas – not permitted
  - North Glengarry – not permitted
  - South Stormont – not permitted
    - Reviewed and voted against
  - North Stormont – permitted
    - reviewed in urban areas and voted against
  - North Dundas – not permitted

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# Potential Benefits

- Access to local food
- Promoting education on food production
- Companionship
- Food quality
- Reduction in waste

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# Potential Issues

- Noise
- Predators & pests
- Health concerns (disease transmission)
- Odour complaints
- Disposal of dead animals and manure
- Animal welfare
- Enforcement

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# Municipalities Not Permitting Backyard Chickens

- Addington Highlands
  - Alfred-Plantangenet
  - Athens
  - Augusta
  - Central Frontenac
  - Edwardsburgh- Cardinal
  - Essex
  - Georgina
  - Laurentian Valley
  - Loyalist
  - Malahide
  - Merrickville
  - Mississippi Mills
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# Municipalities Not Permitting Backyard Chickens

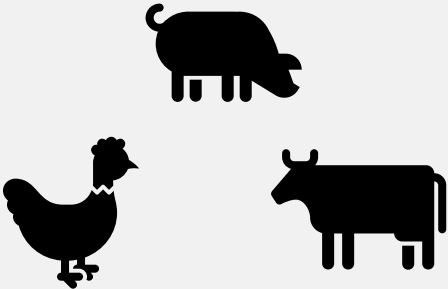
- Montague
- Nation
- North Grenville
- New Tecumseh
- Prescott



- Renfrew
- Rideau Lakes
- Russell
- South Frontenac
- Stone Mills
- West Gwillimbury

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# Zoning Bylaw Where Backyard Hens are not Permitted



Chickens are considered 'livestock'



Livestock are part of 'agriculture' or 'agricultural use'



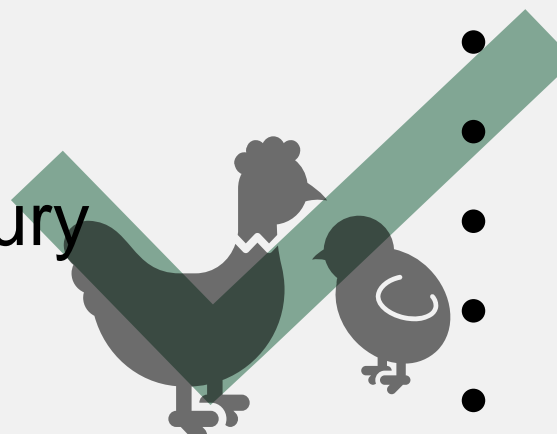
Agricultural uses are only permitted in agricultural or rural zones

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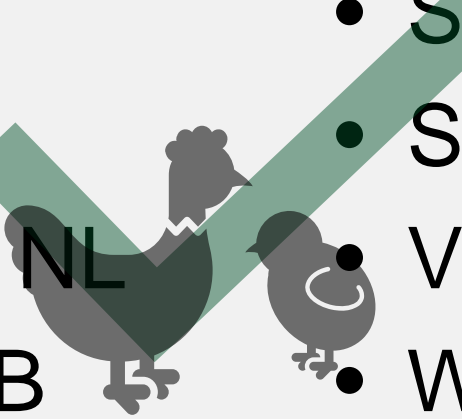
# Municipalities Permitting Backyard Chickens - Ontario

- Brampton
- Caledon
- Clearview
- East Gwillimbury
- Guelph
- Huntsville
- Kingston
- Kitchener
- Niagara Falls
- Newmarket
- North Frontenac
- Norfolk County
- Orillia (Pilot Project)
- Quinte West
- Selwyn (Pilot Project)
- Severn
- Toronto (Pilot Project)
- West Grey



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# Municipalities Permitting Backyard Chickens - Rest of Canada

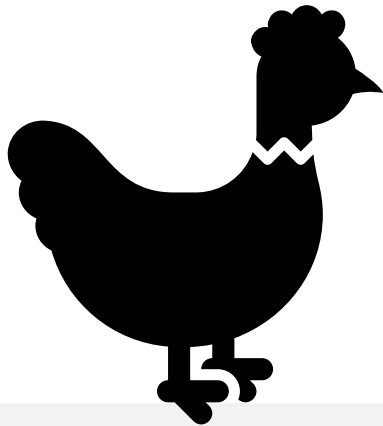
- Airdrie AB
  - Colwood BC
  - Cornerbrook NL
  - Edmonton AB
  - Kamloops BC
  - Surrey BC
  - St. Albert AB
  - Vancouver BC
  - Whitehorse YT
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# Regulation of Backyard Chickens

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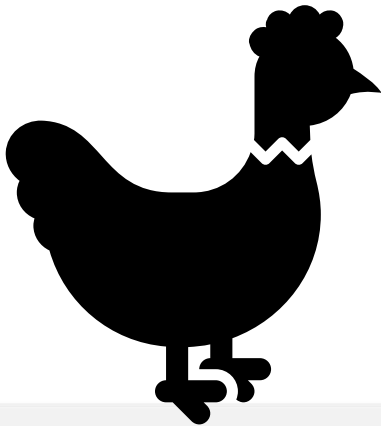
- Personal use only
- Not permitted to sell any hen products – eggs, manure, etc.
- Hens must be at least 4 months old
- Roosters prohibited (all policy reviewed)
- Minimum of 2 (some municipalities) to maximum of 4 (most municipalities)

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# Regulation of Backyard Chickens

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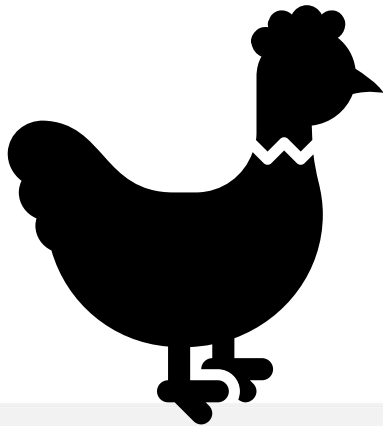
- Coop locked from 9pm to 6am (in some municipalities)
- No slaughter/euthanasia on lot
- Permission from abutting landowners
  - Newmarket, Whitehorse YT
- License
  - Brampton, Kingston, Kitchener, Cornerbrook, Clearview etc.

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# Regulation of Backyard Chickens – Zoning

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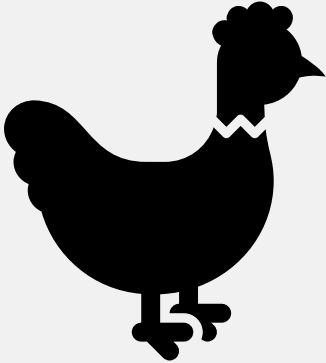
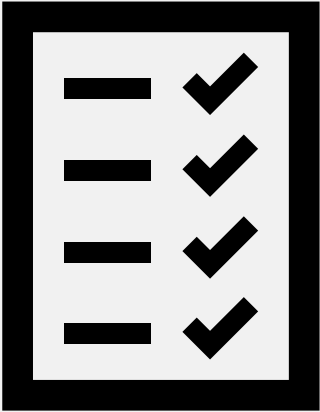
- Only on lots zoned for single-family dwelling - North Frontenac, Norfolk, Quinte West
  - Exclude multi-dwelling lots - Newmarket
- Accessory to dwelling – Clearview, Meaford
- Minimum lot size – 1 acre - East Gwillimbury, Quinte West

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# Registration

- Kitchener
- Brampton
- Kingston
- Clearview
  - \$30 permit fee per household

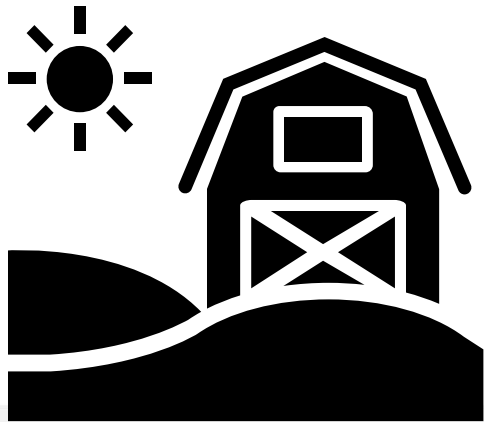


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# Location of Coops (Zoning)

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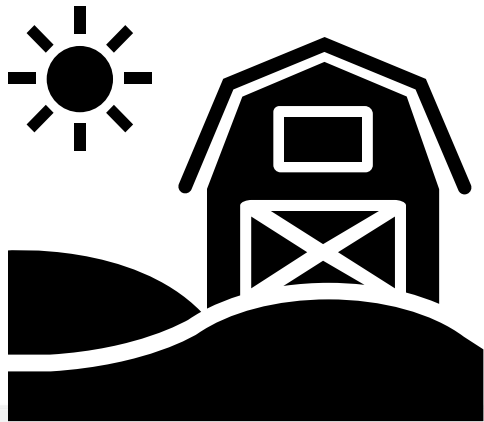
- 1.2m – 3m from side lot line
- 0.6-1.2m from rear lot line (1.2 most common)
- 3m from any/abutting dwellings (windows/doors)
- 7.5m - 15m from a lot where a church, school, business is located
- Only in rear yard – Orillia, Caledon, Severn

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# Coop Construction

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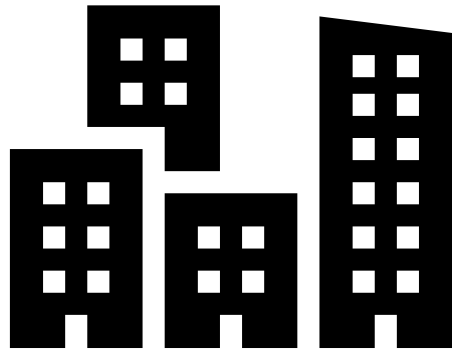
- Maximum 10 square meters floor area
- 0.37 square meters per coop, 0.93 square meters per run/outdoor enclosure, per hen
- No smaller than 4 square meters
  - Cornerbrook NL

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# Limitations

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- Majority of cases where backyard chickens are permitted are highly urban areas, mostly the Greater Toronto Area and Greater Golden Horseshoe which are heavily regulated in terms of lot size, dwelling type, need to be licensed, maximum numbers
- Relatively little information available for backyard chickens in predominantly rural townships
- Enforcement

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# Complaints

- Administration has received 16 complaints from people complaining that their neighbours have chickens and 2 complaints complaining that they cannot have chickens

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# Recommendations

- If council is considering to permit backyard chickens, administration recommends the following
  - Permit chickens on developed properties in the Rural and Agricultural Zones regardless of the size of the lots
    - I.E. : Beaverbrook Road- .75 acre lot with a single family home
  - Do not require licensing or registration of chickens as this creates an increased workload for by-law enforcement that may not be necessary
  - Permit chickens on properties with single family homes only
  - Permit a maximum number of chickens such as; 5
  - Do not permit roosters
  - Permit the pen size to be less than 10 square meters so proponents do not need building permits and must meet setback of 1.2 meters

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# Require Direction of Council

- Do you want chickens in the villages?
- Do you want chickens in villages with private services? (wells)

(keep in mind a minor variance can be applied for at any time)

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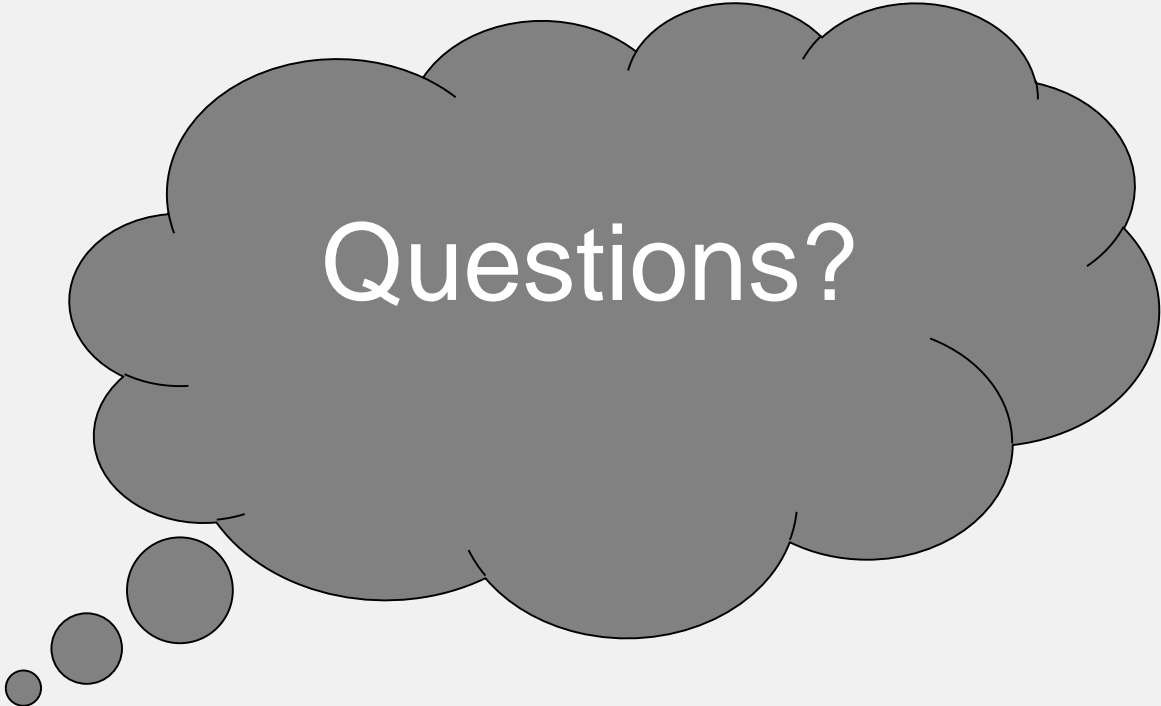
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# Next Steps

- Receive direction from Council
- Rewrite applicable sections of the Township's zoning by-law
- Prepare a Housekeeping Amendment Notice to the Public
- Hold a public meeting
- Bring amended by-law to Council for approval
- 20 day appeal period

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# Community Improvement Plan (CIP) Possible Amendments

## South Glengarry Council Meeting May 19, 2020

Joanne Haley- GM Community Services

# What is a CIP?

A **c**ommunity **i**mprovement **p**lan (CIP) is a tool that municipalities can use in order to offer grant programs and loans to assist local residences and businesses

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# Ontario Planning Act

Section 28 of the Planning Act gives municipalities that have enabling policies in their official plans, the ability to prepare Community Improvement Plans

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# Why Implement a CIP?

To encourage revitalization and stimulate development in the local community

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# South Glengarry's CIP

- Council approved our CIP on September 4, 2018 which also included the United Counties of SDG Regional Incentive Program
- Since the approval, we have processed and funded 19 applications granting \$39,197.17 for façade improvements, signage, paving and landscaping; this equates to over \$78,000.00 being spent on community improvements in Lancaster



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# Goals for the CIP

- ① **Encourage** redevelopment and improvement to attract people and business to South Glengarry
- ② **Improve** the pedestrian experience in Main Street Areas of South Glengarry
- ③ **Promote** public investment in streetscapes and core commercial areas in South Glengarry

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# CIP Roll-Out: Phase Two

Glen Norman, North Lancaster and Bainsville both residential and commercial structures **fronting on the main streets.**

Glen Walter- Commercial only (2020-2022)

Glen Norman



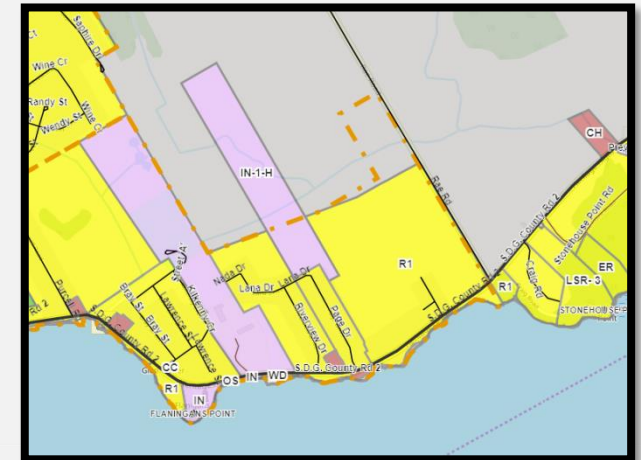
North Lancaster



Bainsville



Glen Walter

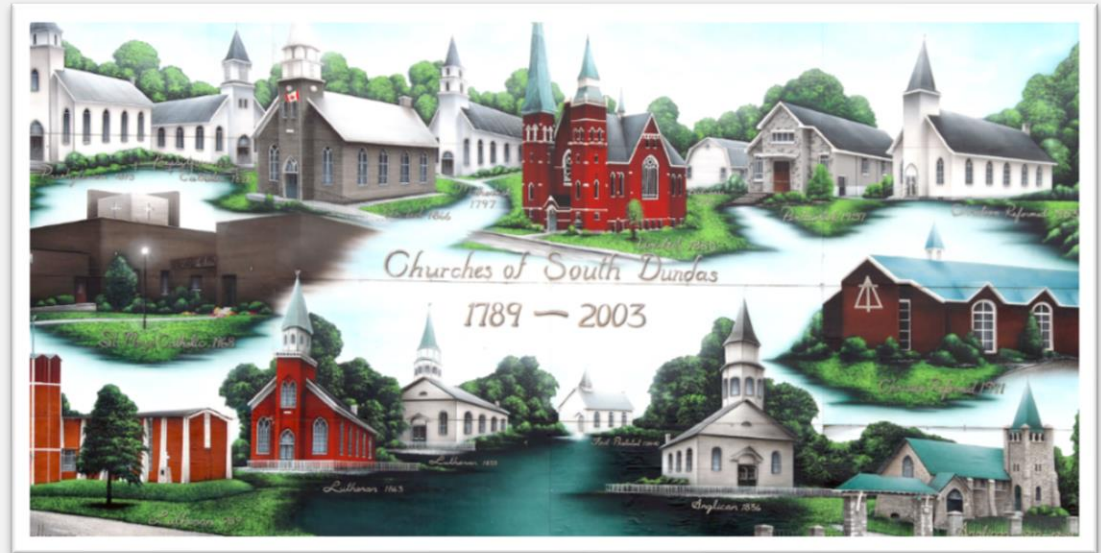


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# CIP Roll-Out: Phase Three

Public Art in visible locations and possible internal upgrades within both residential and commercial structures fronting on the main streets (2022 - 2024)



Example: South Dundas Outdoor Mural

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# CIP Programs

There are 7 different funding programs that the Township offers. Eligible projects can include:

- Planning and Design Grant Program
- Building Improvements
- Commercial Signage
- Landscaping
- Public Art
- Accessibility
- Interior improvements for Commercial zones (loans only) for accessibility, current Building Code barrier free design standards, address health and safety

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# Approved Funding Limits in CIP

Projects	Funds
Planning and Design Programs	One time grant 50% to a max of \$1,500
Building Improvement Program	50% to a max of \$5,000- Principal Facade 50% to a max of \$2,500- Secondary Facade to a total max of \$7,500
Signage & Commercial Awnings	Signage-Minimum eligible cost of \$750, a 50% matching grant to a max of \$2,000, Awning-50% matching grant to max of \$2,500
Landscaping	50% to a max of \$2,000
Accessibility (Commercial Zones)	One time grant 50% to a max of \$5,000 to principal façade to provide access to buildings, 50% to a maximum of \$2,500
Public Art	50% to a max of \$1,000 for window displays in vacant storefronts, 50% to a max of \$2,000 for murals, outdoor sculptures, interpretive signage
Interior Improvements (Loan Only)	An interest-free loan up to a maximum of \$10,000 (minimum loan of \$2,000),

# CIPAC

- CIPAC has met on a few occasions to review and make recommendations to Council to approve applications
- During these meetings we also discussed improvements that could be made to the CIP to increase the number of applications being filed and to invest more dollars in community improvement

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# Feedback Received from Members of the CIPAC and Council

Eliminate Phasing

Increase grant amounts for each program to allow applicants to receive more funding

Require applicants to prepare testimonials once project is completed

Put more focus on grants for accessibility improvements

Allow for continuous application intake (now implemented)

Increase accessibility cap to \$10k and fund 70%

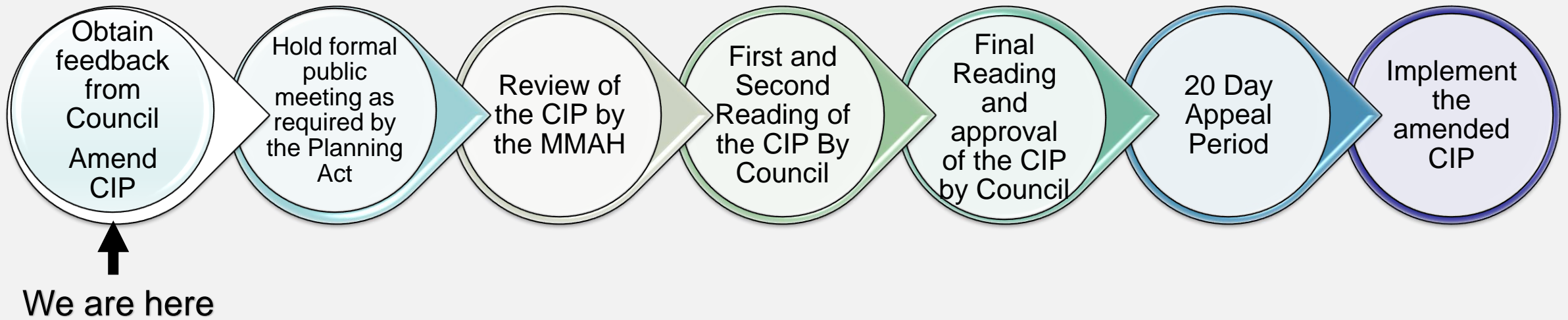
When funding paving of commercial parking lots ensure they meet AODA Standard

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<b>Programs</b>	<b>S.G</b>	<b>N.G.</b>	<b>S.S</b>	<b>N.D</b> <small>Community Improvement Plan</small>	<b>S.D</b> <small>Amendments - J. Haley</small>
<b>Planning &amp; Design</b>	50% to a max of \$1,500	50% to a max of \$1,500	75% of total	Included in building program	Included in building program
<b>Building Improvement</b>	50% to a max of \$5,000- Principal Façade 50% to a max of \$2,500	50% to a max of \$5,000- Principal Façade 50% to a max of \$2,500	50% to a max of \$7,500 Commercial Only	50% to a max of \$4,000	50% to a max of \$4,000
<b>Signage &amp; Commercial Awnings</b>	Signage-Minimum eligible cost of \$750, a 50% matching grant to a max of \$2,000, Awning-50% matching grant to max of \$2,500	Signage-Minimum eligible cost of \$750, a 50% matching grant to a max of \$2,000, Awning-50% matching grant to max of \$2,500	50% to a max of \$7,500	50% to a max of \$1,500	50% to a max of \$1,000
<b>Landscaping</b>	50% to a max of \$2,000	50% to a max of \$2,000	50% to a max of \$7,500	N/A	N/A
<b>Accessibility (commercial only)</b>	50% to a max of \$1,500	50% to a max of \$1,500	N/A	N/A	N/A
<b>Public Art</b>	50% to a max of \$1,000 for window displays in vacant storefronts, 50% to a max of \$2,000 for murals, outdoor sculptures, interpretive signage	50% to a max of \$1,000 for	N/A	N/A	N/A
<b>Internal Improvements</b>	An interest-free loan up to a maximum of \$10,000 (minimum loan of \$2,000), Payable over 5 years	Slightly different program- same values	N/A	Slightly different program- a maximum of \$15,000 payable over 5 years	Slightly different program- a maximum of \$20,000 payable over 5 years

# Next Steps in Process



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# Direction of Council

- Do you want to?:
  - Increase maximum funds
  - Eliminate phasing
  - Increase accessibility funds and improve program
  - Require paving of parking lots to meet AODA standards
  - Require testimonials (does not need to be in the CIP document)

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# SOUTH GLENGARRY

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**STAFF REPORT**

**S.R. 63-2020**

**PREPARED BY:** Joanne Haley, GM Community Services

**PREPARED FOR:** Council of the Township of South Glengarry

**COUNCIL DATE:** May 19, 2020

**SUBJECT:** Removal of Holding Symbol from the Flood Plain Holding Zone, Senecal Property

**BACKGROUND:**

1. On September 28, 2009 the Council of the Township of South Glengarry approved By-law 38-09 being the Comprehensive Zoning By-law for the Township.
2. This Zoning By-law placed the property described as Part of Lots 35 & 36, Concession 1, Part 2, on Reference Plan 14R-872, in the former Township of Lancaster, now in the Township of South Glengarry, County of Glengarry, also known as 20500 Old Montreal Road in a holding zone. The purpose of this holding zone was to require the owner of the subject property to provide the necessary information to both the Raisin Region Conservation Authority and the Township to prove that the portion proposed to be developed on the subject property is located above the 1:100 year flood plain.

**ANALYSIS:**

3. The purpose of the removal of the holding symbol request is to permit the property owner to construct a single detached dwelling on the subject property. Following a review of the topographical survey provided, the Conservation Authority has no concerns with the removal of the holding symbol and therefore the development of the subject area.
4. The Planning Act requires that a Notice of Intention to Remove a Holding Symbol from the Floodplain Holding Zone be provided to the public. To date, no comments from the public have been received and the RRCA supports the Removal of Holding. An Ontario Regulation Permit is required from the RRCA before a building permit can be issued.



**IMPACT ON 2020 BUDGET:**

None

**ALIGNMENT WITH STRATEGIC PLAN:**

N/A

**RECOMMENDATION:**

BE IT RESOLVED THAT Staff Report 63-2020 be received and by-law 27-2020, being a by-law to amend by-law 38-09, the comprehensive Zoning By-Law for the Township of South Glengarry site specific to South Part of Lot 26, Concession 1, Part 2, on Reference Plan 14R-4332, in the former Township of Lancaster, now in the Township of South Glengarry, County of Glengarry to remove the holding symbol to permit the development of the subject area, be read a first, second, and third time, passed, signed and sealed in Open Council this 19th day of May, 2020.

A handwritten signature in black ink, appearing to read "Tim Mills", is written over a horizontal line.

Recommended to Council for  
Consideration by:  
CAO – TIM MILLS

**SG-G-20**

**THE CORPORATION OF THE  
TOWNSHIP OF SOUTH  
GLENGARRY BY-LAW 27-2020  
FOR THE YEAR 2020**

***BEING A BY-LAW TO AMEND BY-LAW 38-09, THE COMPREHENSIVE ZONING BY-LAW FOR THE TOWNSHIP OF SOUTH GLENGARRY.***

**WHEREAS**, the *Municipal Act, 2001*, c.25 S 5 (1) provides that the powers of a municipal corporation are to be exercised by its council;

**AND WHEREAS** the *Municipal Act 2001*, c. 25 S. 5(3) provides that the powers of every council are to be exercised by by-law;

**AND WHEREAS** the Council of the Township of South Glengarry passed by-law 38-09 on the 28<sup>th</sup> day of September 2009, which regulates the use of land and the use and erection of buildings and structures within the Township of South Glengarry;

**AND WHEREAS** by-law 38-09 placed a Holding (h) symbol, pursuant to Sections 34 and 36 of the *Planning Act*, R.S.O. 1990 on a portion of the subject property as amended, not to be removed from the Flood Plain Holding (FP-H) Zone, unless the Municipality has received the necessary studies and engineering to support the proposed single detached dwelling development.

**AND WHEREAS** the Council of the Township of South Glengarry is satisfied that the Holding (h) symbol can be removed;

**AND WHEREAS** Section 36(4) of the *Planning Act*, R.S.O. 1990, as amended, permits the Council of a Municipality to remove Holding Symbols;

**NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWNSHIP OF SOUTH GLENGARRY ENACTS AS FOLLOWS:**

1. **THAT** by-law 38-09 is hereby amended by removing the Holding (h) symbol on lands described as Part of Lots 35 & 36, Concession 1, Part 2, on Reference Plan 14R-872, in the former Township of Lancaster, now in the Township of South Glengarry, County of Glengarry, also known as 20500 Old Montreal Road, changing the zoning from Residential One and Flood Plain Holding (R1 & FP-H) to Residential 1 (R1) and Flood Plain (FP) and Flood Plain Holding (FP-H) as indicated on Schedule "A" attached hereto and forming part of this by-law.
2. **THAT** Schedules "S-9" and "S-10" of by-law 38-09 is hereby amended by the removal of the Holding (h) symbol on part of the lands described as Part of Lots 35 & 36, Concession 1, Part 2, on Reference Plan 14R-872, in the former Township of Lancaster, now in the Township of South Glengarry, County of Glengarry, also known as 20500 Old Montreal Road,
3. **THAT** all other applicable provisions of by-law 38-09, as amended, shall continue to apply.
4. **THAT** this by-law shall come into force and effect and take effect pursuant to the provisions of the *Planning Act*, R.S.O. 1990, as amended.

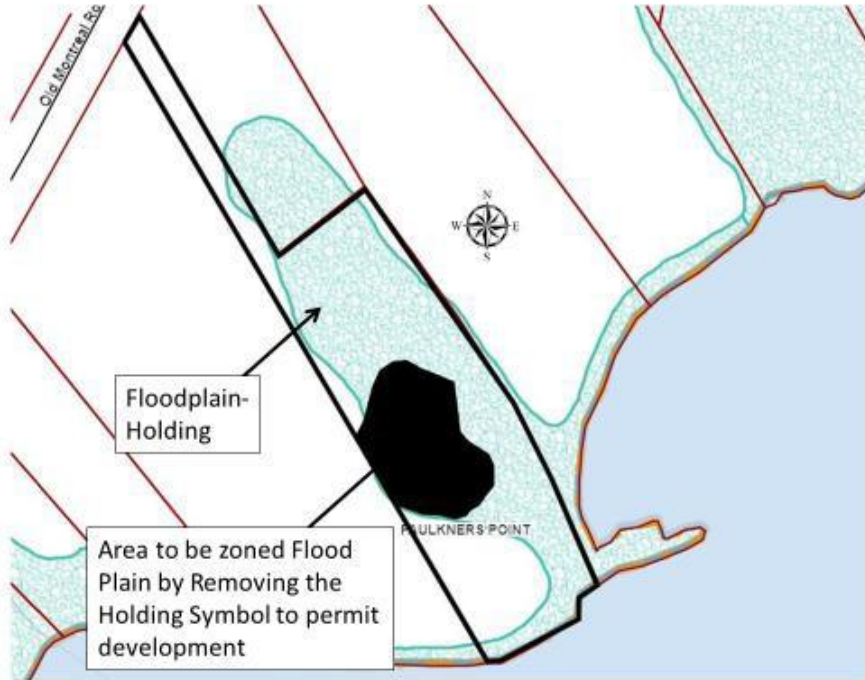
**READ A FIRST, SECOND AND THIRD TIME, PASSED, SIGNED AND SEALED  
IN OPEN COUNCIL THIS 19TH DAY OF MAY, 2020.**

**MAYOR:**

**CLERK:**


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## Schedule "A"



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**This is Schedule "A" to By-law 27-2020  
adopted this 19<sup>th</sup> day of May, 2020**

 Lands to be rezoned by removing the Holding Symbol from the Flood Plain- Holding zone

**Township of  
South Glengarry**

\_\_\_\_\_  
**Mayor**

\_\_\_\_\_  
**Clerk**



## STAFF REPORT

S.R. 64-2020

**PREPARED BY:** Meagan Bingley, Economic Development and Tourism Coordinator (Acting)

**PREPARED FOR:** Council of the Township of South Glengarry

**COUNCIL DATE:** May 19, 2020

**SUBJECT:** Township Signage Policy

### BACKGROUND:

1. At the February 19, 2019 Council meeting, Council supported the idea and need for a municipal signage policy. The costs to develop the policy and the templates for the signage was approved in the 2019 municipal budget. A request for quotation was issued and the successful respondent was the company "Sign It".
2. Sign It was tasked to design a family of signs that represents the existing South Glengarry branding that will be applied in different spaces. This is an important task as municipal signage is an excellent opportunity for the Township to promote local businesses and attractions through consistent, recognizable signage that reinforces the Township's "Ontario Celtic Heartland" brand. A strong community brand is vital for the attraction of visitors, future residents and businesses. The Counties of SDG will be co-sponsoring the signage, and the signs will need to include the Counties "Where Ontario Began" slogan.

### ANALYSIS:

3. The goal of implementing the signage policy is to provide a consistent message and brand that will help improve the visitor experience by using a family of signs through out South Glengarry. These signs will include parking signage, destination signage, street signage, village signage and more. The preferred design options outlined below will be incorporated into these signs and create a consistent theme and brand.
4. Sign It has completed two design options for Council to review:

Option #1: "Ontario's Celtic Heartland" is included in the official font of the Township (cursive); "Where Ontario Began" is included on a placard below in the Counties of SDG's official font. From a branding standpoint, including the Ontario's Celtic Heartland



in cursive helps promote consistency and brand development but it might be difficult to read.

Option #2: “Ontario’s Celtic Heartland” is included in a non-cursive font; “Where Ontario Began” is included on a placard below in the Counties of SDG’s official font. Ontario’s Celtic Heartland is easier to read in passing in the non-cursive font; however, it does deviate from our branding strategy.

Following the receipt of the direction of Council in regards to the preferred option a draft sign policy will be completed and brought to Council for first and second reading in the near future.

### **IMPACT ON 2020 BUDGET:**

5. The signage project was approved in the 2019 budget.

### **ALIGNMENT WITH STRATEGIC PLAN:**

Goal 1: Enhance economic growth and prosperity

Goal 4: Improve quality of life in our community

Goal 5: Improve internal and external communication

### **RECOMMENDATION:**

BE IT RESOLVED THAT Staff Report 64-2020 be received and that Council chooses Option \_\_\_\_ of the proposed sign design which will become the approved design for future signage throughout the Township of South Glengarry.

Option #1: “Ontario’s Celtic Heartland” is included in the official font of the Township (cursive).

Option #2: “Ontario’s Celtic Heartland” is included in a non-cursive font.

Recommended to Council for  
Consideration by:  
CAO – TIM MILLS

C



Ontario's Celtic Heartland

# South Lancaster



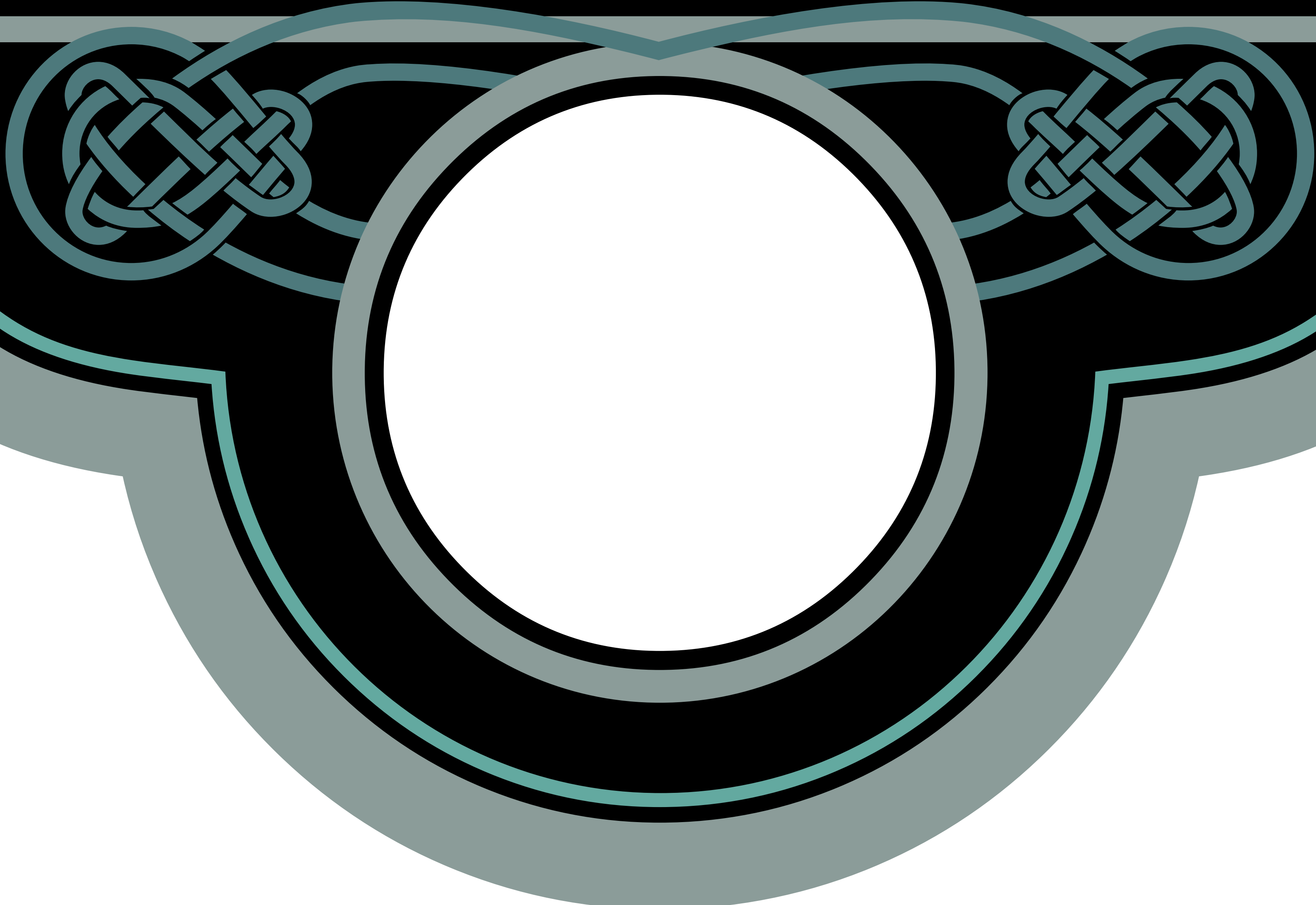
Where Ontario Began

D



■ ONTARIO'S CELTIC HEARTLAND ■

# South Lancaster



■ *Where Ontario Began* ■



## STAFF REPORT

## S.R. 65-2020

**PREPARED BY:** L. McDonald, GM Corporate Services

**PREPARED FOR:** Council of the Township of South Glengarry

**COUNCIL DATE:** May 19, 2020

**SUBJECT:** Request for Funding - Glengarry County Archives

### **BACKGROUND:**

1. At a joint meeting of North and South Glengarry Council's in 2019 an agreement was made to purchase 28 Kenyon Street East, in Alexandria as a permanent home for the Glengarry County Archives.
2. Allan MacDonald, Curator presented the estimated total costs to the Townships at \$70,000 each.
3. Mr. MacDonald said all other costs would be covered by fundraising, grant applications, and volunteer efforts.
4. The Township of South Glengarry and North Glengarry were only to continue their operating contributions annually at \$21,000 per year (total \$42,000 combined).
5. During our budget 2020 deliberations (Nov. 22, 2019 and Jan 24, 2020) Deputy Mayor Warden requested that an additional \$35,000 be held, "just in case" the Glengarry County Archives required it. It was considered "a placeholder" and Council approved.
6. As requested by Mr. MacDonald, at our last meeting on May 4, 2020 Council approved a loan of \$21,000 to be paid back at the end of 2020.
7. Further to the loan request, Mr. MacDonald also requested funding of \$26,000.
8. To summarize the project

	South Glengarry	North Glengarry	Total
Original Request	\$70,000	\$70,000	\$140,000
Contingency	\$35,000	\$35,000	\$70,000
Loan Request	\$21,000	\$21,000	\$42,000



Funding Request	\$26,000	\$26,000	\$52,000
As of May 19, 2020	\$152,000	\$152,000	\$304,000
Above/(Below) Original	\$82,000	\$82,000	\$164,000 117% higher
Additional Taxpayer Dollars *	\$61,000	\$61,000	\$122,000 87% higher

\* Assuming Loan Repayment at \$21,000 per Township

9. Additionally, they are requesting a student to help (soft costs \$5,000 +).

### **ANALYSIS:**

10. Council can draw the money from general reserves as the Township has ample capacity, but I must caution that the general reserve assists with cash flow requirement and it is typically used for planned projects (i.e. inter-year transfers).

11. South Glengarry has not had a cash flow issue since inception (1998).

12. The \$164,000 shortfall stems from:

- Capital campaign – even though it has done well, the amount raised is lower than forecasted
- Less than expected success in grant procurement

13. The CAO has tasked managers to find efficiencies in all departments and analyze service delivery and programs and limit non-essential spending by the Township in the time of COVID-19. Council and administration are also being diligent in reviewing projects for potential cost overruns. Providing additional funding for this project may open the Township up to additional requests from other groups facing fundraising shortfalls and Council should be wary of setting a precedent by accommodating this shortfall.

### **IMPACT ON 2020 BUDGET:**

14. Nil as it can be drawn from General Reserves

### **ALIGNMENT WITH STRATEGIC PLAN:**

Nil



**RECOMMENDATION:**

BE IT RESOLVED THAT Staff Report 65-2020 be received and that the Council of the Township of South Glengarry direct administration to fund \$26,000 to the Glengarry County Archives Capital Campaign from General Reserves.

A handwritten signature in black ink, appearing to read "Tim Mills", is written over a horizontal line.

Recommended to Council for  
Consideration by:  
CAO – TIM MILLS



**STAFF REPORT**

**S.R.66-2020**

**PREPARED BY:** Gary Poupart, Director of Development and CBO

**PREPARED FOR:** Council of the Township of South Glengarry

**COUNCIL DATE:** May 19, 2020

**SUBJECT:** Civic Addressing By-law 24-2020

**BACKGROUND:**

1. Following the 1st and 2nd reading of the proposed Civic Addressing By-law 24-2020 at the Council meeting on May 4th, Council gave direction to administration to remove the 15% administrative surcharge for the cost of the civic blades and posts.

**ANALYSIS:**

2. Replace: Schedule "A" By-Law No 24-2020: Civic Number By-law – Fees
3. With: Schedule "A" By-Law No 24-2020: Civic Addressing By-law – Fees. This new Schedule "A" does not include the 15% administrative surcharge.

**IMPACT ON 2020 BUDGET:**

None

**ALIGNMENT WITH STRATEGIC PLAN:**

Goal 4: Improve quality of life in our community

Goal 5: Improve internal and external communications

**RECOMMENDATION:**

BE IT RESOLVED THAT Staff Report No. 66-2020 be received and that By-law 24-2020, being a by-law to regulate Civic Addresses in the Township of South Glengarry be read a third time, passed, signed and sealed in Open Council this 19th day of May, 2020 and furthermore that By-law 21-05 as amended, be rescinded.



A handwritten signature in black ink, appearing to read "T. Mills", is written over a solid black horizontal line.

**Recommended to Council for  
Consideration by:  
CAO – TIM MILLS**

**THE CORPORATION  
OF THE TOWNSHIP  
OF SOUTH  
GLENGARRY BY-LAW  
24-2020  
FOR THE YEAR 2020**

***BEING A BY-LAW TO ESTABLISH THE PLACING AND  
MAINTAINING OF A CIVIC ADDRESSING SYSTEM FOR BUILDINGS  
AND LOTS WITHIN THE LIMITS OF THE TOWNSHIP OF SOUTH  
GLENGARRY.***

**WHEREAS**, the *Municipal Act*, 2001, c.25 S 5 (1) provides that the powers of a municipal corporation are to be exercised by its council;

**AND WHEREAS** the *Municipal Act*, 2001, c. 25 S. 5(3) provides that the powers of every council are to be exercised by by-law.

**AND WHEREAS** Section 8 of the *Municipal Act*, 2001, c.25 (hereinafter referred to as the "*Municipal Act*") provides that the powers of a municipality under the *Municipal Act* or any other Act shall be interpreted broadly so as to confer broad authority on the municipality to enable the municipality to govern its affairs as it considers appropriate and to enhance the municipality's ability to respond to municipal issues;

**AND WHEREAS** pursuant to Section 9 of the *Municipal Act* provides that a municipality has the capacity, rights, powers and privileges of a natural person for the purpose of exercising its authority under the *Municipal Act* or any other Act;

**AND WHEREAS** pursuant to Section 116(1) of the *Municipal Act*, authorizes a municipality to establish, maintain and operate a centralized communication system for emergency response purposes;

**AND WHEREAS** pursuant to Section 116(2) of the *Municipal Act*, allows municipalities; at any reasonable time, to enter upon land to affix numbers to buildings or erect signs setting out numbers on land;

**AND WHEREAS** pursuant to Section 425 of the *Municipal Act*, a municipality may pass by-laws providing that a person who contravenes a by-law of the municipality passed under this Act is guilty of an offence;

**AND WHEREAS** pursuant to Section 426 of the *Municipal Act*, no person shall hinder or obstruct, or attempt to hinder or obstruct, any person who is exercising a power or performing a duty under this Act or under a by-law passed under this Act;

**AND WHEREAS** pursuant to Section 436 of the *Municipal Act*, a By-Law Enforcement Officer may enter upon any land at any reasonable time for the purpose of carrying out an inspection to determine compliance with this by-law;

**AND WHEREAS** pursuant to Section 446(1) of the *Municipal Act*, a municipality may direct or require a person to do a matter or thing and that, in default of it being done by the person directed or required to do it, the matter or thing shall be done at the person's expense;

**AND WHEREAS** pursuant to Section 446(3) of the *Municipal Act*, a municipality may recover the costs of doing a matter or thing under subsection (1) from the person directed or required to do it by action or by adding the costs to the tax roll and collecting them in the same manner as property taxes;

**AND WHEREAS** Council desires for the health and safety of the residents of South Glengarry, to establish an organized system and therefore, wishes to ensure accurate and efficient routing of emergency vehicles, other services and to accommodate future growth.

**NOW THEREFORE** the council of the Corporation of the Township of South Glengarry hereby enacts the following as a by-law;

**SHORT TITLE**

This by-law may be referred to as the “Civic Addressing By-Law”.

**PART 1 - DEFINITIONS**

**1.1** In this by-law;

- a) “Address Plaque” means a form of signage that displays the address number on a building.
- b) “Building” means a structure occupying an area greater than ten (10) square metres consisting of a wall, roof and floors or a combination thereof or a structural system serving the function thereof including all plumbing works, fixtures and service systems appurtenant thereto.
- c) “Chief Building Official” means the Chief Building Official (CBO) appointed by the Corporation of the Township of South Glengarry and his or her designates or successors.
- d) “Civic Address” means the civic number, including the Unit number where applicable, and Road name assigned to a particular Building or lot.
- e) “Civic Blade” means a sign that is affixed to a support structure adjacent to the Private Road, Road or Highway for the purpose of displaying the Civic Number of the lot to which the sign relates.
- f) “Civic Number” means the number, including the Unit number, where applicable, assigned to a particular lot.
- g) “Council” means the Council for the Corporation of the Township of South Glengarry.
- h) “Highway” means a common and public Highway or a portion thereof, under the jurisdiction of the Township of South Glengarry, United Counties of Stormont Dundas and Glengarry or the Province of Ontario and includes any bridge, trestle, viaduct or other structure forming part of the Highway.
- i) “Officer” means an officer of the Township responsible for enforcement of by- laws.
- j) “Owner” means the registered owner of land, the owner in trust, a mortgagee in possession and includes a person, firm, partnership, corporation, company, association or organization of any kind and its principal(s).
- k) “Private Road” means single or a multi lane path accessible to vehicles that is not under the jurisdiction of the Township of South Glengarry, United Counties of Stormont Dundas and Glengarry or the Province of Ontario.
- l) “Property” means any land within the Township of South Glengarry

including yards and vacant lots.

- m) "Road" means a Highway under the jurisdiction of the Township of South Glengarry, United Counties of Stormont Dundas and Glengarry or the Province of Ontario or a Private Road.
- n) "Township" means the Corporation of the Township of South Glengarry.
- o) "Unit" means an independently used space within a property (i.e. a store within a shopping mall, an accessory apartment within a residential complex, or multiple structures on a lot).
- p) "Vacant Land" means an area of land in a rural or agricultural zone, as defined in the Township of South Glengarry Zoning by-law, that is not built on or that is not occupied.

## **PART 2 - GENERAL PROVISIONS**

- 2.1** No person shall install or display any civic number, blade, or post that is not assigned or approved by the Townships' Building Department.
- 2.2** All civic blades and posts assigned by the Township are subject to a cost as indicated in "Schedule A" of this by-law.
- 2.3** Every owner of any property within the Township that contains a building (permanent or otherwise) which has the facilities on site from which to report an emergency and / or to which there is a reasonable expectation that emergency vehicles could be dispatched, including properties with facilities under construction shall be required to obtain and clearly display a Civic blade.
- 2.4** Every owner of a mobile park or a private community, including a campground, containing two or more residences (permanent or otherwise) which has the facilities on site from which to report an emergency and / or two which there is a reasonable expectation that emergency services could be dispatched, including properties with facilities under construction shall be required to obtain and clearly display a Civic blade.
- 2.5** Every owner of vacant land within the Township may post or display a civic blade on the designated property in accordance with the requirements of this by-law.
- 2.6** Every owner of land within the Township that is required to post or display a civic blade in accordance with this by-law, must ensure it is always maintained in good repair, visible from the road, and unobstructed by vegetation, structures, snow accumulation or any other screening.
- 2.7** No person shall display a civic number or blade on the door of a residence or structure, or entrance gate.

### **Design of Civic Blade and Address Plaque**

- 2.8** The Township shall, for every property, assign and provide a civic number, post, and blade in accordance with the following design:
  - a) all digits of the property numbers shall be an approximate size of 75mm in height and shall have an appropriate width.
  - b) all numbers shall be fabricated with a reflective white material on a reflective blue backing.

- c) all numbers shall read from left to right.
- d) all numbers shall be displayed in numeral form only.
- e) Civic blades and posts for a property having a building shall be composed of PVC material obtained from the Township.
- f) Civic blades for vacant land shall be composed of PVC material or aluminum and the posts shall be composed of either metal or PVC material obtained from the Township.

**2.9** The Township shall, for every property, approve an Address Plaque in accordance with the following design:

- a) all digits of the property numbers shall be an approximate size of 76mm in height and shall have an appropriate width.
- b) all numbers shall be displayed in dark writing with a light background, or light writing with a dark background.
- c) all numbers shall read from left to right.
- d) all numbers shall be displayed in numeral form only.

**Placement of Civic Blade or Address Plaque**

**2.10** All owners of a property containing a building (permanent or otherwise) where the front wall of the residence, garage, or main building on the property is located at a distance of 5 metres or more from the property line abutting the street shall install and maintain:

- a) the civic blade to the post at a height of not less than 1.07m and not more than 1.5m from the effective ground level.
- b) the civic blade on the property at a distance of not more than 1m from the property line abutting the street and a distance of not more than 1m from the main driveway or entrance to the property.
- c) the civic blade so as to be readily visible from the street and must be visible from both directions of road traffic.

Any reduction in front yard setback approved by a Minor Variance or a Zoning Amendment does not exempt the requirements of this section.

**2.11** All owners of a property containing a building (permanent or otherwise) where the front wall of the residence, garage, or main building on the property is located at a distance of less than 5 metres from the property line abutting the street shall install and maintain:

- a) the civic blade or address plaque to the front facing, right-hand side of the closest visible building from the road, whether it is a residence, garage, or main building.
- b) the civic blade or address plaque on the building at a height not less than 1.07m and not more than 1.8m above the door threshold.
- c) the civic blade or address plaque so as to be readily visible from the street and must be visible from both directions of road traffic.

**2.12** All owners of a property containing multiple units with separate outside entrances shall display and maintain the unit number next to the exterior door, which provides access to such unit, and be clearly visible from the exterior of the building.

**2.13** In accordance with section 2.5, where owners of vacant land install a civic blade on the property it shall be placed as follows:

- a) the civic blade is affixed to the post at a height of not less than 1.07m and not more than 1.5m from the effective ground level.
- b) the number sign shall be placed on the property line or fence line within 5 meters of the entrance to the property.

#### **Property Severance**

**2.14** Where a developed property severs part of the land for residential use, the dwelling shall retain the civic number originally assigned, and the owner of the vacant land shall obtain a new civic number and display a new civic blade at a entrance to the vacant land as a condition of consent.

**2.15** Where a vacant property severs part of the land, all owners of all vacant land shall obtain a new civic number and display a new civic blade at an entrance to the vacant as a condition of consent.

#### **Existing Civic Blades**

**2.16** Despite the provisions of this By-law, a civic blade that was in existence prior to the date this By-law comes into force, and was in compliance with the applicable civic number regulations in force under the Township's applicable by-laws at the time the civic number was installed, shall be deemed to comply with this By-law for so long as such civic number continues to be the same height, length and width, comprised of the same material, structurally sound, easily read, and in good condition.

#### **Reassigning Civic Address**

**2.17** Any building(s) with an existing assigned civic address number may be reassigned a new number by the CBO where there are potentially confusing number discontinuities or irregularities, there is an inadequate supply of civic numbers for existing and future lot development, there are emergency service requirements or there are other Township initiatives.

**2.18** The CBO will provide written notice of the civic address numbering change to the owners of any affected properties. In cases where it is found that the renumbering of a building, unit, or property would pose undue hardship on a number of residents or businesses, the CBO, in consultation with emergency service providers may allow the existing civic address to remain, provided that the existing address follows a clear numbering sequence and complies with the requirements for emergency service. It is the responsibility of the owner to ensure that the new civic address number or signage is installed and visible from the street.

### **PART 3 - ADMINISTRATION AND ENFORCEMENT**

**3.1** The CBO is authorized to administer and enforce this By-law.

**3.2** The CBO may assign Officers to enforce this By-law and shall have the authority to:

- a) carry out inspections;
  - b) make orders or other requirements as authorized under this By-law;
- and

- c) give immediate effect to any orders or other requirements made under this By-law.
- 3.3** The CBO may assign duties or delegate tasks under this By-law to be carried out in the CBO's absence or otherwise.

### **Entry and Inspections**

- 3.4** An Officer may enter on land at any reasonable time and in accordance with the conditions set out in sections 435, 436 and 437 of the *Municipal Act, 2001* for the purpose of carrying out an inspection to determine whether or not the following are being complied with:
- a) this By-law;
  - b) a direction or order made under this By-law;
  - c) an order made under s. 431 of the *Municipal Act, 2001*.
- 3.5** An Officer may undertake an inspection pursuant to an order issued by a provincial judge or justice of the peace under Section 438 of the *Municipal Act, 2001*, in accordance with the conditions set out in that section, where he or she has been prevented or is likely to be prevented from carrying out an inspection under Section 3.4.
- 3.6** No Person shall interfere with, obstruct, or permit to obstruct an Officer while performing their duties under this by-law.

### **Orders including Delivery**

- 3.7** If an Officer is satisfied that a contravention of this By-law has occurred, he or she may make an order requiring the person who contravened the By-law or who caused or permitted the contravention or the owner or occupier of the property on which the contravention occurred to do work to correct the contravention.
- 3.8** An order under Section 3.7 shall set out:
- a) reasonable particulars of the contravention adequate to identify the contravention and the location of property on which the contravention occurred;
  - b) the work to be completed;
  - c) the date or dates by which the work must be completed; and
  - d) notice that if the order is not complied with, then the work may be done at the expense of the owner;
  - e) notice that if the cost of work plus administration fees are not paid in time, they may be recovered by adding the amount to the tax roll for the Property.
- 3.9** Delivery of an order to discontinue a contravening activity made under Section 3.7 or an order to do work made under Section 3.8 may be given personally or by registered mail to the last known address of:
- a) the owner; and
  - b) such other persons affected by the order as an Officer determines.

Delivery by registered mail shall be deemed to have taken place on the fifth day after the date of mailing.

- 3.10** Where a time frame is set out in an order for carrying out any action, an Officer may extend the time for compliance beyond the established time frame provided such extension is required and is acceptable to the Officer.

### **Township Carrying Out Work**

- 3.11** Where a person does not comply with a direction or a requirement, including an order, under this By-law to do a matter or thing, the CBO, in

addition to all other remedies, may cause the Property to be brought into compliance with this by-law. For this purpose, the CBO with such assistance by others as may be required, may enter onto the Property at any reasonable time without further notice to the Owner in order to do such work necessary to achieve compliance with this by-law at the person's expense.

**3.12** The Township may recover the costs of doing a matter or thing under Section 3.11 by action or by adding the costs to the tax roll and collecting them in the same manner as property taxes and such costs shall include an administration fee as set in Schedule "B". The amount of the Township's costs, including interest to the date payment is made in full, constitutes a lien upon the land, upon the registration of a notice of lien upon the land.

**Penalties**

**3.13** Every person who contravenes any provision of this by-law is guilty of an offence and, upon conviction, is liable to:  
a) a fine as provided for in section 61 of the Provincial Offences Act, R.S.O 1990, c. P.33.

**3.14** Where a person is convicted of an offence under this by-law, the Ontario court of Justice or any court of competent jurisdiction thereafter may, in addition to any other penalty imposed on the person convicted, make an order prohibiting the continuation or repetition of the offence by the person convicted.

**Validity and Severability**

**3.15** If a court of competent jurisdiction should declare any section or part of a section of this by-law to be invalid, such section or part of a section shall not be construed as having persuaded or influenced Council to pass the remainder of the by-law, and it is hereby declared that the remainder of the by-law shall be valid and shall remain in force.

**3.16** Where a provision of this by-law conflicts with the provision of another by-law in force within the Township, the provisions that establish the higher standards to protect the health, safety and welfare of the general public shall prevail.

**Repeal**

**3.17** On the date this by-law comes into effect, By-Law 21-05 as amended shall be hereby repealed.

**3.18** This By-law shall come into force upon the date of passing by Council.

**EFFECTIVE DATE**

This By-Law shall come into force upon the date of passing by Council.

---

***READ A FIRST AND SECOND TIME ON THE 4<sup>th</sup> DAY OF MAY  
2020 READ A THIRD TIME ON THE 19<sup>th</sup> DAY OF MAY 2020***

**MAYOR:**

**CLERK:**

---

**SCHEDULE 'A'**  
**CORPORATION OF THE TOWNSHIP OF SOUTH**  
**GLENGARRY**  
**By-Law No 24-2020: Civic Addressing By-law Fees**

<b>Item</b>	<b>Fee</b>
Civic Blade Property with Building	\$47.00
Civic Post c/w Cap - Property with Building	\$61.00
Civic Blade- Vacant Land	\$35.00
Civic Post- Vacant Land	\$25.00

**SCHEDULE 'B'**  
**CORPORATION OF THE TOWNSHIP OF SOUTH**  
**GLENGARRY**  
**By-Law No 24-2020: Civic Number By-law Service**  
**Use and Activity Charges**

	<b>Service or Activity Fee</b>	<b>Fee</b>
	<p><b>1st Order.</b> Where the informal notice has not been complied with, for the first Order issued in respect to any property.</p>	<b>\$ 50.00</b>
	<p><b>Subsequent Orders.</b> Where there has been a previous Order issued, each subsequent Order issued</p>	<b>\$ 100.00</b>
	<p><b>Township undertakes to complete the work.</b> Where the Township undertakes to complete the work required to comply with any final order.</p>	<b>Cost of the work performed</b>
	<p><b>Certificate of Compliance.</b> Where after inspecting a property, an Officer, may, or on the request of the Owner, issue the Owner a certificate of compliance</p>	<b>\$25.00</b>



## STAFF REPORT

S.R. 67-2020

**PREPARED BY:** Ewen MacDonald – GM Infrastructure Services

**PREPARED FOR:** Council of the Township of South Glengarry

**COUNCIL DATE:** May 19, 2020

**SUBJECT:** Waste Collection Contracts

### **BACKGROUND:**

1. The current contracts for Household Waste Collection and Recycling Collection end on November 30, 2020.
2. In August 2019, the Ministry of the Environment, Conservation and Parks ('Ministry') announced that the largest and most well-known program in Ontario – the Blue Box program would transition, starting January 1, 2023 and ending on December 31, 2025. The Ministry has committed to provide a draft Blue Box regulation under the *Resource Recovery and Circular Economy Act* in Summer 2020 which would lay out the ground rules for what this new system would look like.
3. Further information on the Waste Free Ontario Act and its impacts on Recycling and Waste Management Programs can be viewed at <https://www.amo.on.ca/AMO-Content/Waste-Management/WasteDiversion>
4. On behalf of all the local municipalities, SDG staff issued a request for proposal to complete detailed analysis of solid waste management practices. The goal of this work is to provide recommendations to all parties on how to achieve cost and operational efficiencies through process changes, best practices and greater collaboration amongst partners.
5. The RFP Closed on April 15<sup>th</sup> and SDG awarded the Proposal to DFA Infrastructure Inc.
6. The Study from DFA is to be completed in March 2021.



## **ANALYSIS:**

7. The main objectives of SDG's Regional Waste Management Study are as follows:
  - Summarize solid waste program delivery costs for the six local municipalities in SDG; specifically reviewing curbside waste, recycling, collection, hazardous waste and landfilling costs. Identify the differing levels of service. Create a simplified tool/ spreadsheet to evaluate the various solid waste programs and complete a cost analysis and cost comparison for each program component;
  - Ascertain if there are cost-saving and/or efficiencies which can be achieved through internal process changes, common 'regional' levels of service, collaboration between various municipalities, or regional collaboration (e.g. all parties);
  - Provide recommendations on how to realize these cost savings and/or efficiencies and the associated timing to achieve these goals with full consideration to existing infrastructure, assets and impending legislative changes.
8. The project will be governed by a steering committee, consisting of County staff and several; solid waste managers from within SDG. The steering committee will report study progress to all the local municipalities.
9. With the timing for the completion of the Waste Management Study and the release of the Regulations for the Blue Box Program; Council directed Administration to contact our current contractors to ask about an extension to their respective contracts.
10. Both Contractors have agreed to extend their current contracts for one year.

## **IMPACT ON 2020 BUDGET:**

11. HGC Management has agreed to extend the Household Waste Collection Contract at the existing price of \$38,020.25 per month.
12. COCO Group has agreed to extend the Recycling Collection at \$345.00 per tonne. The current rate from the 2015 contact is \$319.85 per tonne.
13. The impact for the 2020 Budget would be approximately \$1,600.00 based on the 10-year average tonnage for December.
14. The increase for the 2021 Budget would be approximately \$18,750.00 based on 750 tonnes of recycling materials.



**ALIGNMENT WITH STRATEGIC PLAN:**

Goal 3: Strengthen the effectiveness and efficiency of our organization

**RECOMMENDATION:**

BE IT RESOLVED THAT Staff Report 67-2020 be received and that Council approves the One-Year extensions for the Household Waste Collection with HGC Management and for the Recycling Collection with COCO Group and furthermore; that the Mayor and Clerk be authorized to sign any relevant documents.

A handwritten signature in black ink, appearing to read "Tim Mills", is written over a horizontal line.

Recommended to Council for  
Consideration by:  
CAO – TIM MILLS



## **STAFF REPORT**

**S.R.68-2020**

**PREPARED BY:** Ewen MacDonald – GM Infrastructure Services

**PREPARED FOR:** Council of the Township of South Glengarry

**COUNCIL DATE:** May 19, 2020

**SUBJECT:** Public Works Facility Plans

### **BACKGROUND:**

1. Council directed Administration to proceed with issuing the Tender for a new Public Works Facility to be located on Airport Road
2. The Plans for a Public Works Facility have been finalized and are attached. The floor plan is shown on drawing A1.4.
3. The Site Plan has been revised to accommodate a 2 bay (4 unit) addition to the building
4. The plans will be submitted to the Township Building Department for a Building Permit.
5. A Tender Document will be issued for the construction of the Building.

### **ANALYSIS:**

6. The Estimated cost for the building is \$1,245,000.
7. There will also be costs associated with the Site Works to expand the granular yard and bring services to the new building. The existing fuel system in Williamstown will also need to be relocated.
8. The estimated cost for the addition is \$287,000. Administration would recommend, based on the Project Budget, that the addition not be included in the current construction and will be a future consideration pending the need.



- 9. The Mechanical and Electrical plans will accommodate the addition to the building without having to relocate the existing elements or to increase the capacity of the systems.
  
- 10. An RFP for a Route Optimization Study will also be issued to review the current deployment of winter maintenance operations to identify revisions to the routes that would provide efficiencies. The Study will also review the potential to move the winter operations to the Airport Road Site at some point in the future.

**IMPACT ON 2020 BUDGET:**

- 11. The new Public Works Facility has been approved for 2020 with a Budget of \$1,320,000.00.

**ALIGNMENT WITH STRATEGIC PLAN:**

Goal 3: Invest in infrastructure and its sustainability

Goal 4: Strengthen the effectiveness and efficiency of our organization

**RECOMMENDATION:**

BE IT RESOLVED THAT Staff Report 68-2020 be received and that the Council of the Township of South Glengarry file this report.

A handwritten signature in black ink, appearing to read "Tim Mills", is written over a horizontal line.

Recommended to Council for  
Consideration by:  
CAO – TIM MILLS

# SOUTH GLENGARRY TOWNSHIP MUNICIPAL GARAGE

**LOCATION:**  
?????????  
?????????  
?????????

**MAJOR OCCUPANCY:**  
PROPOSED USE - \_\_\_\_\_

### ARCHITECTURAL PLANS

- A0.1 COVER PAGE - SHEET INDEX
- A0.2 GENERAL NOTES & STANDARDS

### FLOOR PLANS:

- A1.1 LEVEL 0 - FOUNDATION PLAN
- A1.2 LEVEL 0 - FOUNDATION PLAN
- A1.3 PIER DETAILS/SCHEDULES
- A1.4 LEVEL 1 - FLOOR PLANS
- A1.5 LEVEL 1 - FLOOR PLANS
- A1.6 LEVEL 2 - FLOOR PLANS

### STRUCTURAL PLANS

\*RESERVED FOR PRE-FAB

### ELEVATIONS:

- A2.1 PROPOSED ELEVATIONS

### DETAILS:

- A4.1 TYPICAL WASHROOM DETAILS
- A4.2 ACCESS & CIRCULATION
- A4.3 ACCESS & CIRCULATION
- A4.4 SITE DETAILS & STANDARDS

### SECTIONS:

- A5.1 SECTIONS & DETAILS

### OPENING SCHEDULES:

- A6.1 DOOR SCHEDULES

### MECHANICAL PLANS

- M1.1 NOTES / SCHEDULES
- M1.2 NOTES / SCHEDULES
- M2.1 HVAC PLANS
- M2.2 HVAC PLANS
- M2.3 HVAC PLANS
- P2.1 PLUMBING PLANS
- P2.2 PLUMBING PLANS
- P2.3 PLUMBING PLANS

### ELECTRICAL PLANS

- E1.1 NOTES / SCHEDULES
- E1.2 NOTES / SCHEDULES
- E2.1 ELECTRICAL LAYOUT
- E2.1 ELECTRICAL LAYOUT
- E2.2 ELECTRICAL LAYOUT

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**USE OF THESE FILES SHALL CONSTITUTE UNCONDITIONAL ACCEPTANCE OF THE FOLLOWING CONDITIONS:**

- The file user agrees to accept computer media and files for the above referenced project from **Annable Designs Co.** without any warranties, guarantees and/or representations of any nature whatsoever regarding the correctness, accuracy and/or completeness of any information contained therein.
- The user further agrees that such information shall be used as reference material only, and then only for this project and not for other projects or future additions to this project, without **Annable Designs Co.** express written consent in each instance.
- By use of such media and information, the user further agrees to release, indemnify, hold harmless and defend **Annable Designs Co.** with respect to any claims, costs, losses, damages and/or liabilities, including reasonable attorney's fees and cost of defense, arising out of or relating to its use, misuse, modification, interpretation, misinterpretation and/or misrepresentation.
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#	By	Date of Rev.	Description of Revision
6	DTA	APR 24-20	Updated Plans per Client Comments
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-	DTA	JAN 16-19	Issued Preliminary Concepts to Township for Discussion

### REVISIONS & RELEASES

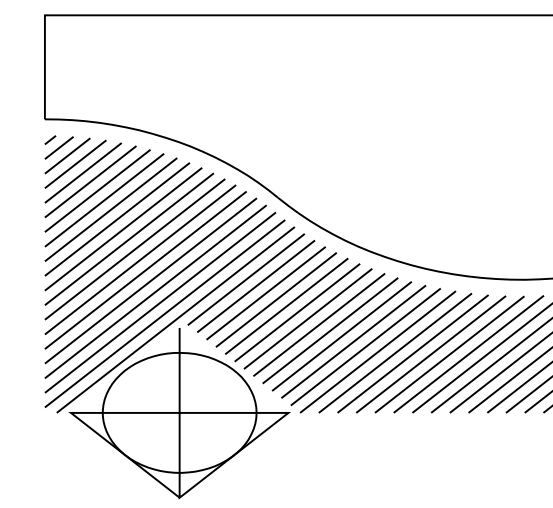
DRAWING: **DESIGN COVER PAGE**

PROJECT ID NUMBER	SHEET NUMBER
<b>1151</b>	<b>A0.1</b>

Lead Design Consultant: DAVID T. ANNABLE - DESIGNER	COMPLETION DATE: Feb 2020
<b>PRELIMINARY</b> NOT ISSUED FOR CONSTRUCTION	COMPUTER NO: 1151-ARCH.DWG
ANNABLE DESIGNS	BY: J. D. Annable
DAVID T. ANNABLE - DESIGNER	SCALE: 1/4" = 1'-0"
	<b>Rev. 08</b>

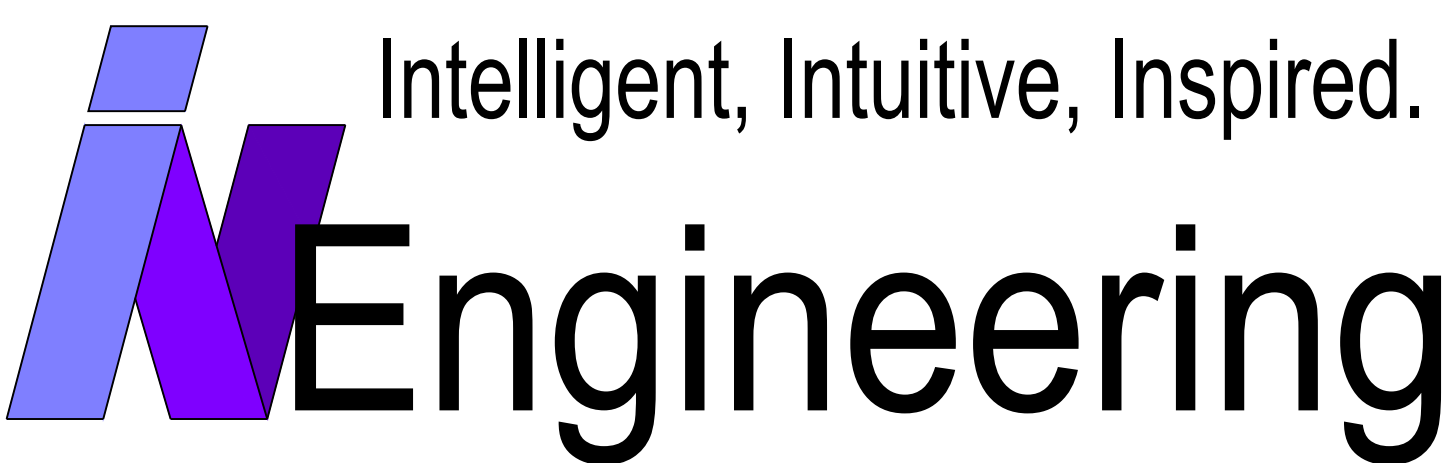
**PLAN CERTIFICATION / VALIDATION**  
If the Signature on this plan is not in Original RED Ink, then this plan is to be considered Preliminary or an Unauthorized Duplicate. Please Confirm with Annable Design Co. Ltd before using Unauthorized Plans for any purpose.

### Project Architect Firm:



**GEOFF HODGINS ARCHITECT**  
1 Sherbrooke St. E. Perth ON K7H 1A1  
613-267-2954 ghodgins.gha@gmail.com

### Project Structural Engineering Firm:



Intelligent, Intuitive, Inspired.  
**Engineering**

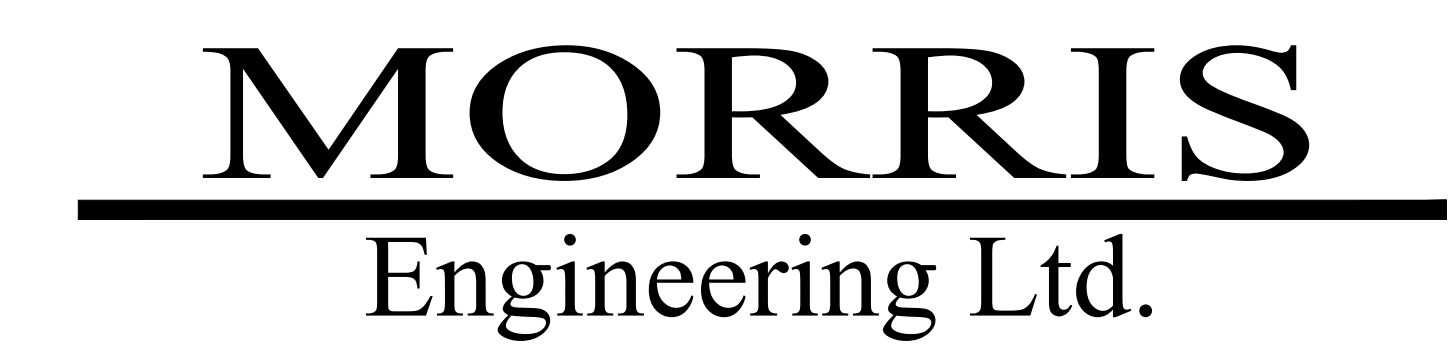
### Project Designer & Consultant:



Brockville Offices:  
Unit 7 - 2211 Parkedale Ave  
Brockville, Ontario

613 - 926 - 5350  
info@annabledesigns.ca  
www.annabledesigns.ca

### Project Mechanical Engineering Firm:



68 William St., Suite 200  
Brockville, Ont. Telephone: (613) 499-2077

Before you hire **Any** type of **Professional**, be sure to **ASK FIRST** if they are an **APPROVED PROFESSIONAL!**

This Free-to-Use Public Program is now Provincially Governed with active members & representation within these Municipalities:

- Leeds & Grenville
- Stormont, Dundas & Glengarry
- Ottawa, Orleans & Nepean
- Kingston & South Frontenac



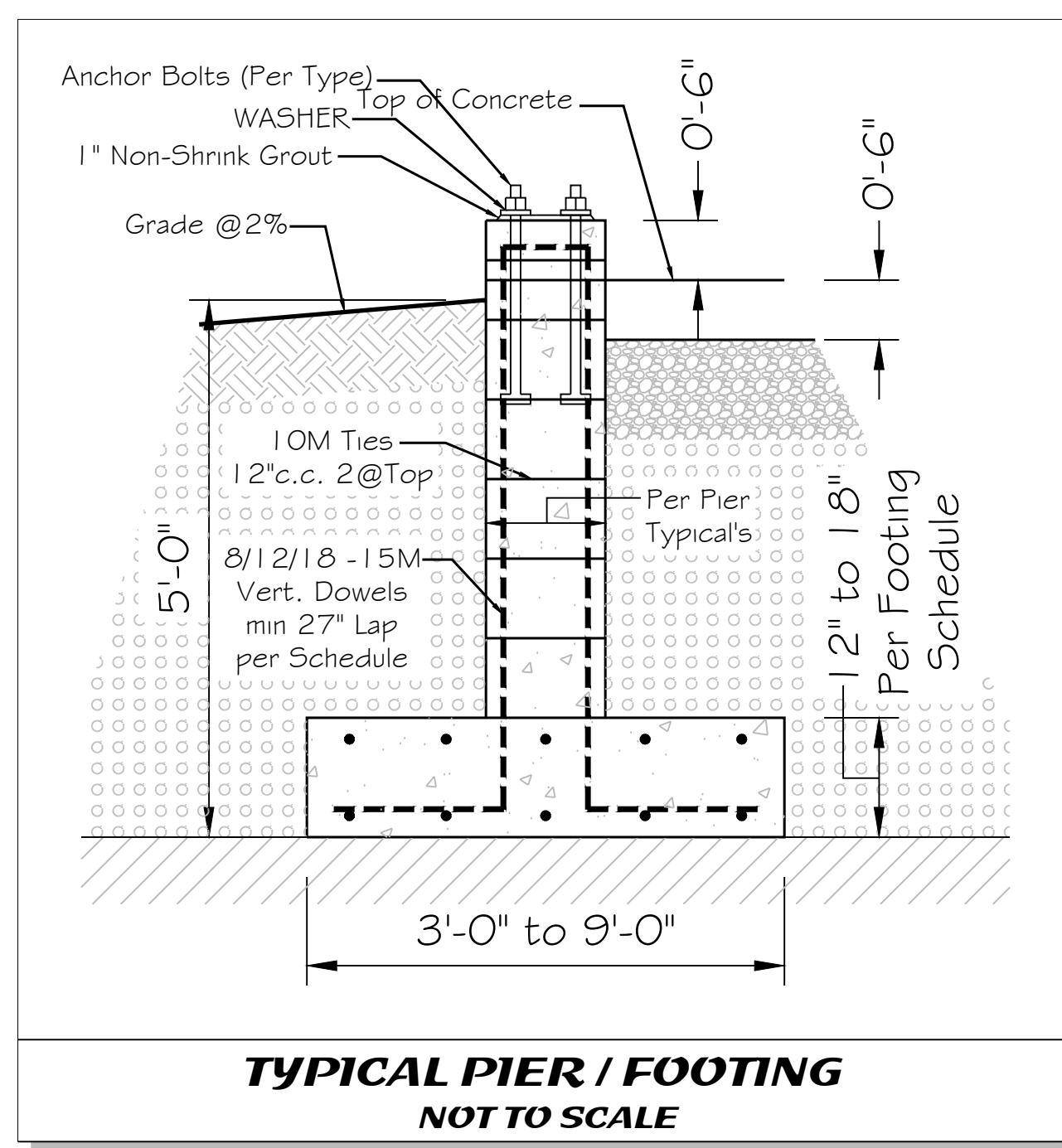
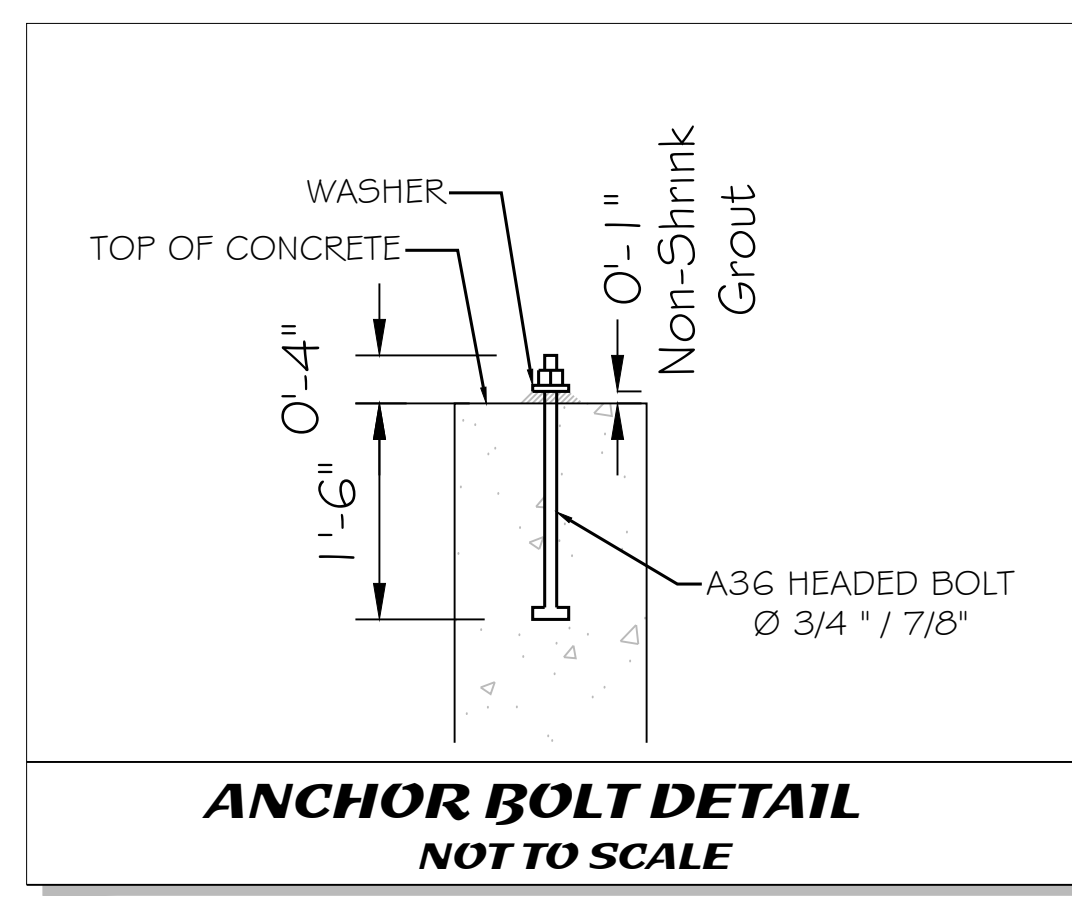
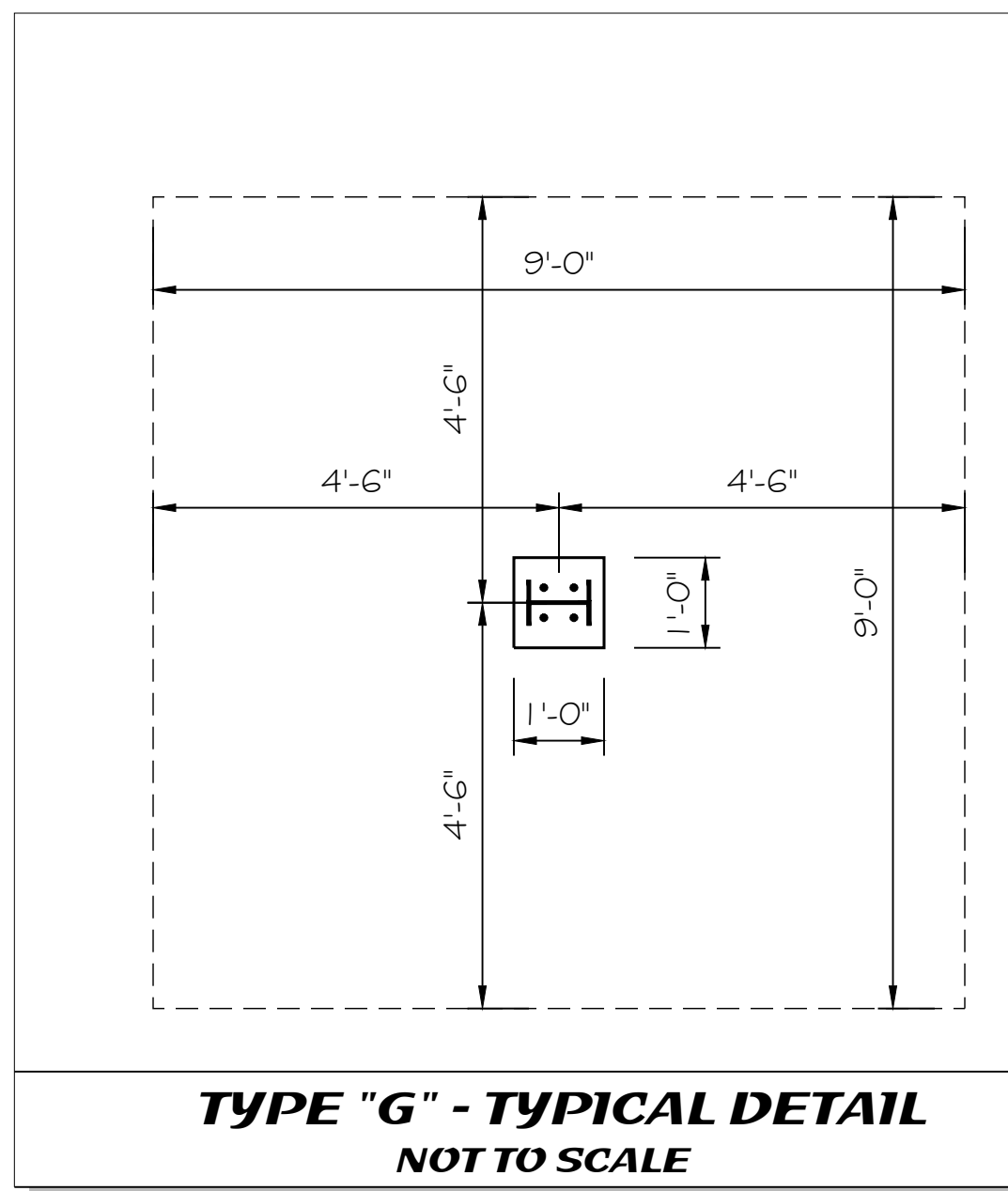
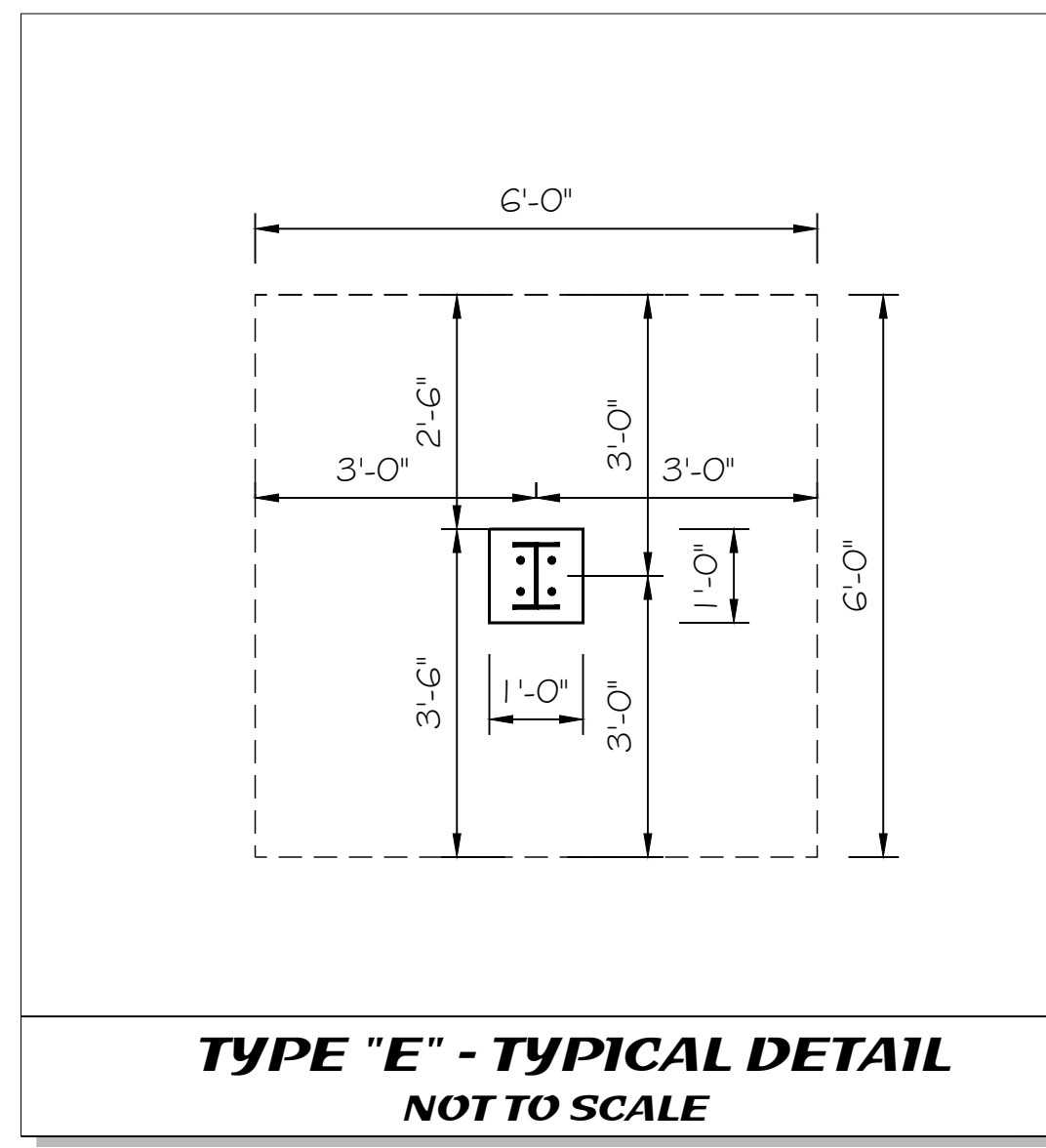
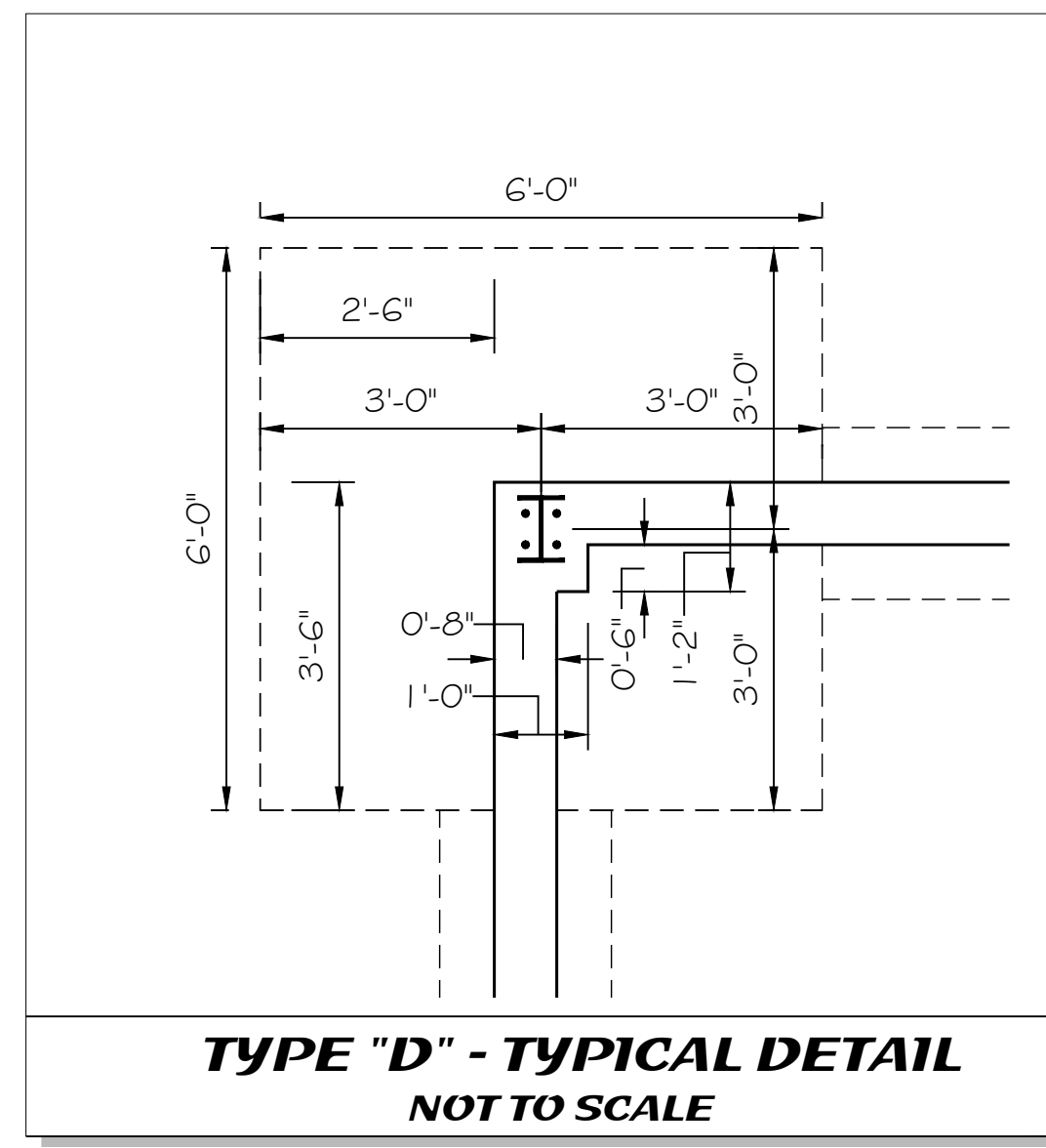
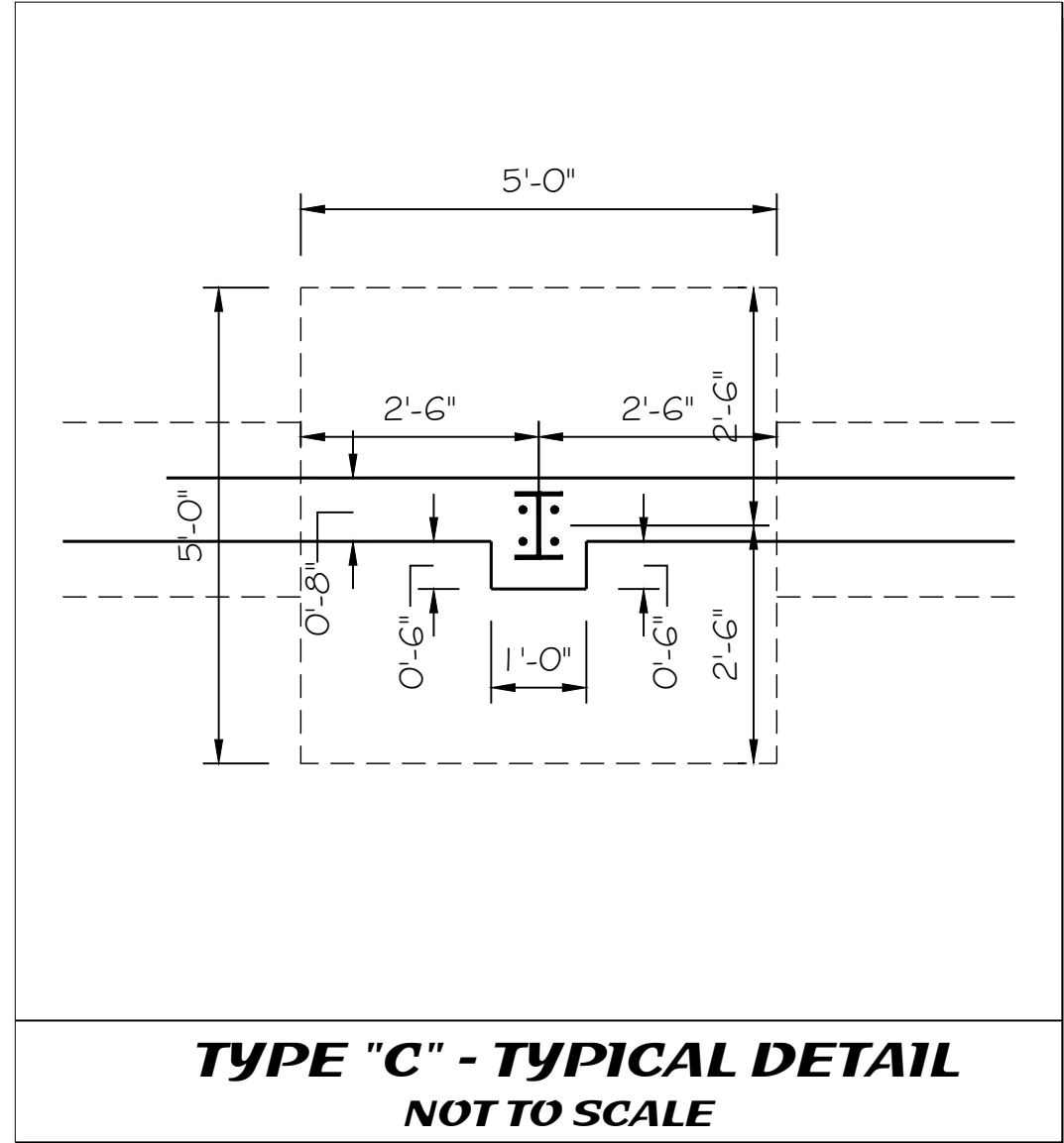
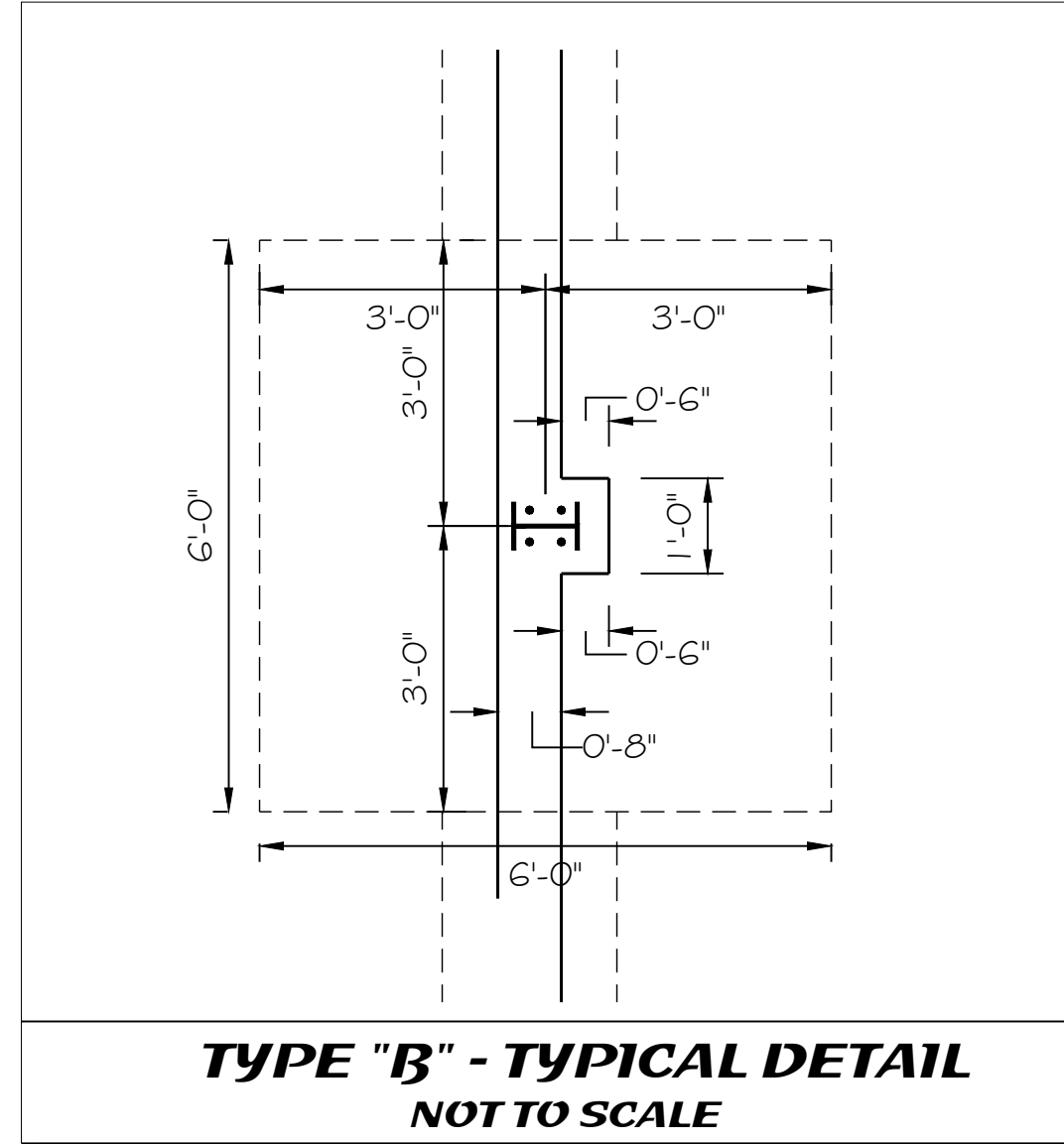
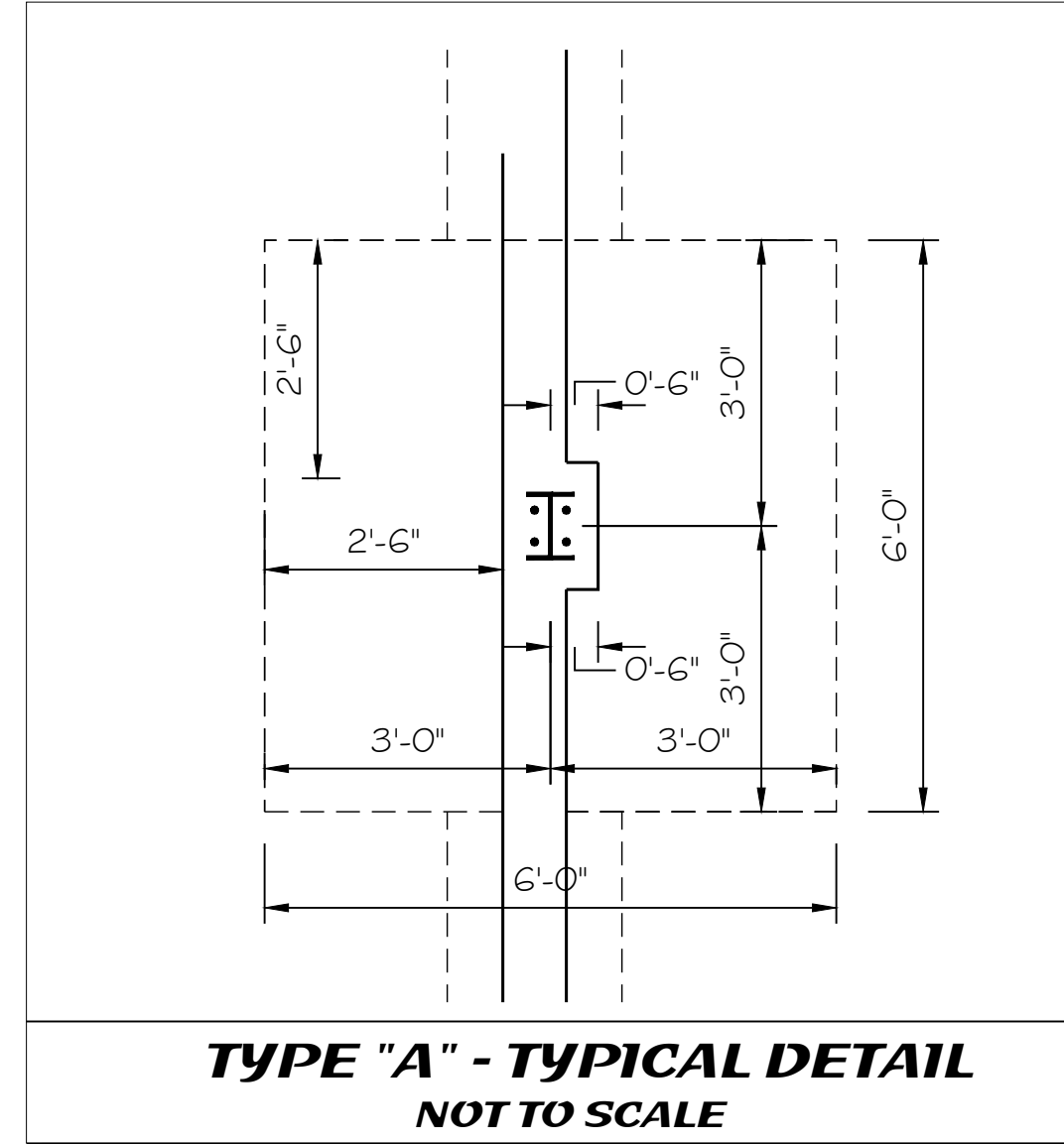
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ANNABLE DESIGNS IS A PROUD MEMBER









**FOOTING SCHEDULE**

TYPE	FOOTING SIZE	REINFORCEMENT
A	6'-0" x 6'-0" x 12"	7-15M E/W T/B
B	6'-0" x 6'-0" x 12"	7-15M E/W T/B
C	5'-0" x 5'-0" x 12"	6-15M E/W T/B
D	6'-0" x 6'-0" x 12"	7-15M E/W T/B
E	6'-0" x 6'-0" x 12"	7-15M E/W T/B
F	- - -	- - -
G	9'-0" x 9'-0" x 16"	10-15M E/W T/B

These plans for the basis for Permit Insurance and any deviations from these plans, specification and details including the ventilation system, heating system, wood stove, fireplaces, decks, balconies and/or finished basements will require a revised drawing authorized by the Design Firm and with clearance by the Local Building & Planning Department.

**Owner / General Contractor Requirements / Specifications:**  
Annable Designs Co. Ltd. has been contracted to complete the illustrated designs, but some additional specifications, features and/or decisions will be the responsibility of the Project Contractor or Home Owners. Items such as:  
- Mechanical Systems - Electrical Systems - Foundation Drainage Layer  
- Veneer Styles/Accessories - Windows Styles/Accessories - Railing Styles/Accessories  
\*In addition to Interior Design items such as: Finishes, Colors and Stylistic Finish Materials.

- Contractor to Verify ALL DIMENSIONS before construction.  
- All work to be in accordance with the latest edition of the Ontario Building Code and Local By-Laws.  
- These plans are under the full responsibility and liability of the Home Owner, Builder and/or Contractor listed as the Project Client/Builder, Annable Designs Co. Ltd. and the Underwritten BCIN Designer waives any and all responsibility and/or liability for problems which arise from failure to follow the plans, specifications (as a whole and in complete form) and the design intent in which they convey, or from problems which arise from failure to obtain and/or follow the design firm's guidance with respect to any errors, omissions, inconsistencies, ambiguities or conflicts which are alleged.

ARCHITECT SEAL - As Required  
ENGINEER SEAL - As Required

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**REVISIONS & RELEASES**

**PLAN LEGEND:**

	Proposed Four Concrete Foundation
	Proposed Steel Column (As Per Pre-Eng Plans)
	Proposed Reference Label (As Per Pre-Eng Plans)

DRAWING: **FOOTING TYPICAL**

PROJECT: **Municipal Garage Facility**  
Township of South Glengarry

Floor Space: 11,216 sq.ft.

Engineer: Intelligent, Intuitive, Inspired.  
**Engineering**  
www.inengineering.ca (613) 803-9899 andrew@ineng.ca

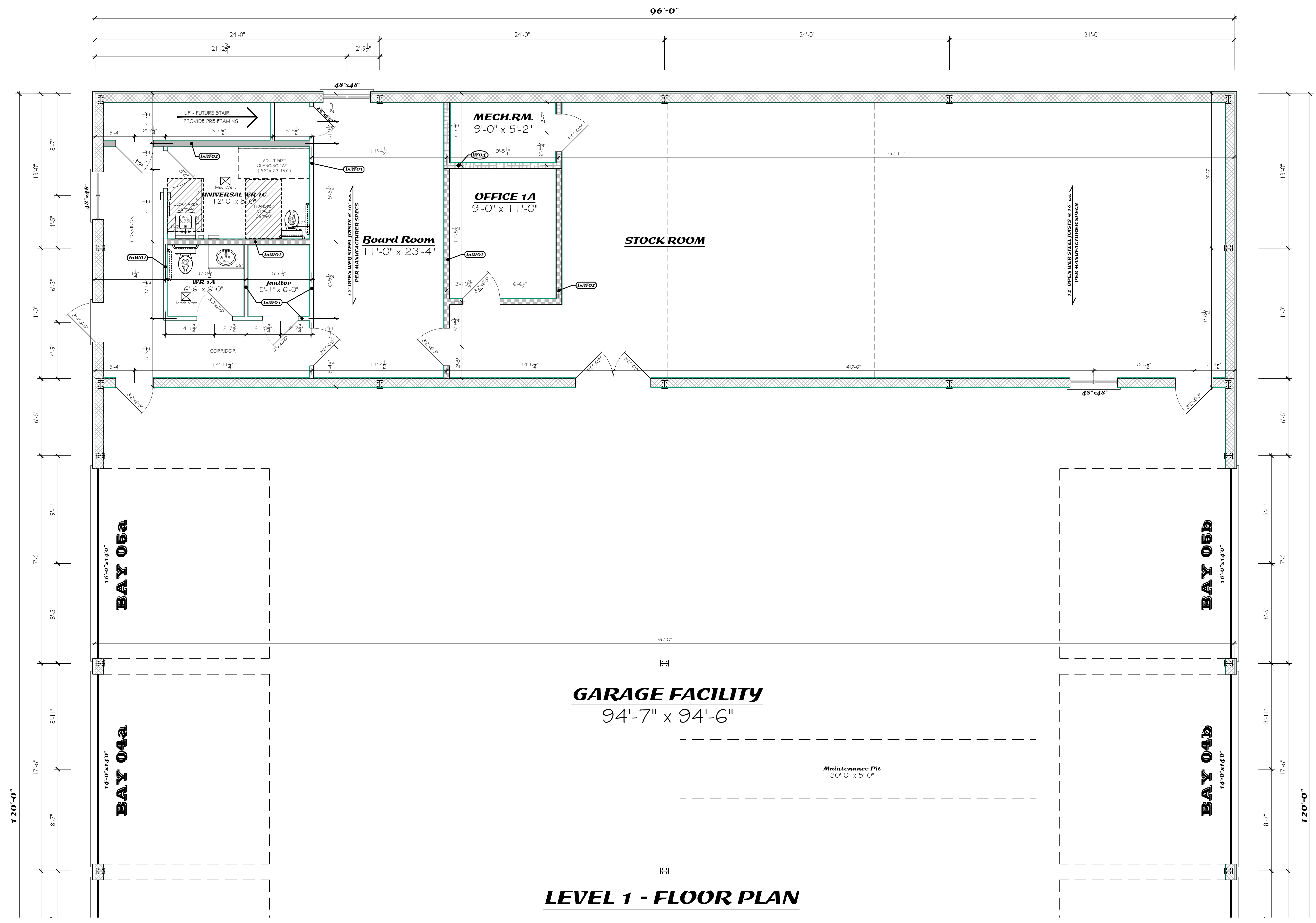
Architect: **GEOFF HODGINS ARCHITECT**  
1 Sherbrooke St. E. Perth ON K7H 1A1  
613-267-2954 ghdgns.gh@gmail.com

Lead Design Firm: **Annable Designs**  
ARCHITECTURE-CONSULTING-PLANNING  
Brockville Offices: Unit 7 - 2211 Parkedale Ave Brockville, Ontario 613-926-5350 info@annabledesigns.ca www.annabledesigns.ca

PROJECT ID NUMBER: **1151**  
SHEET NUMBER: **A1.3**

Lead Design Consultant: **PRELIMINARY**  
COMPLETION DATE: Feb 2020  
COMPUTER NO: 1151-ARCH.DWG  
BY: D. T. ANNABLE  
SCALE: 1/4" = 1'-0"  
**Rev. 08**

**PLAN CERTIFICATION / VALIDATION**  
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### LEVEL 1 - FLOOR PLAN

<b>Interior [In-W01]</b> 1/2" Gyp. Wallboard 2x4" Frame Wall (SPF#2) @ 16" on centre 1/2" Gyp. Wallboard	<b>Interior [In-W02]</b> 1/2" Gyp. Wallboard 2x6" Frame Wall (SPF#2) @ 16" on centre 1/2" Gyp. Wallboard	<b>Interior [In-W03]</b> 1/2" Gyp. Wallboard 2x6" Frame Wall (SPF#2) @ 16" on centre R5 Cont' Insul (min) 1/2" Gyp. Wallboard	<b>WALL TYPE [W04]</b> 1HR FRR ULC W305 - 1 Layer of 5/8" Type "X" Gypsum Wallboard - 2x6" Wood Studs @ 16" cc. - 1 Layer of 5/8" Type "X" Gypsum Wallboard
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- Veneer Styles/Accessories - Windows Styles/Accessories - Railing Styles/Accessories  
\*In addition to Interior Design items such as Finishes, Colors and Style/Type Finish Materials.

- Contractor to Verify ALL DIMENSIONS before construction.  
- All work to be in accordance with the latest edition of the Ontario Building Code and Local By-Laws.  
- These plans are under the full responsibility and liability of the Home Owner, Builder and/or Contractor listed as the Project Client/Builder, Annable Designs Co. Ltd. and the Underground BCN Designer waives any and all responsibility and/or liability for problems which arise from failure to follow the plans, specifications (as a whole and in complete form) and the design intent in which they convey, or from problems which arise from failure to obtain and/or follow the design firm's guidance with respect to any errors, omissions, inconsistencies, ambiguities or conflicts which are alleged.

ARCHITECT SEAL - As Required

ENGINEER SEAL - As Required

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**REVISIONS & RELEASES**

**PLAN LEGEND:**


DRAWING: **Floor Plans**

PROJECT: **Municipal Garage Facility**  
Township of South Glengarry

Engineer: **IN Engineering**  
www.inengineering.ca (613) 803-9899 andrew@ineng.ca

Architect: **GEOFF HODGINS ARCHITECT**  
1 Sherbrooke St. E. Perth ON K7H 1A1  
613-267-2954 ghodgins.gsh@gmail.com

Lead Design Firm: **Annable Designs ARCHITECTURE-CONSULTING-PLANNING**  
Brockville Offices: Unit 7 - 2211 Parkedale Ave Brockville, Ontario 613-926-5350 info@annabledesigns.ca www.annabledesigns.ca

PROJECT ID NUMBER: **1151**

SHEET NUMBER: **A1.4**

COMPLETION DATE: Feb 2020

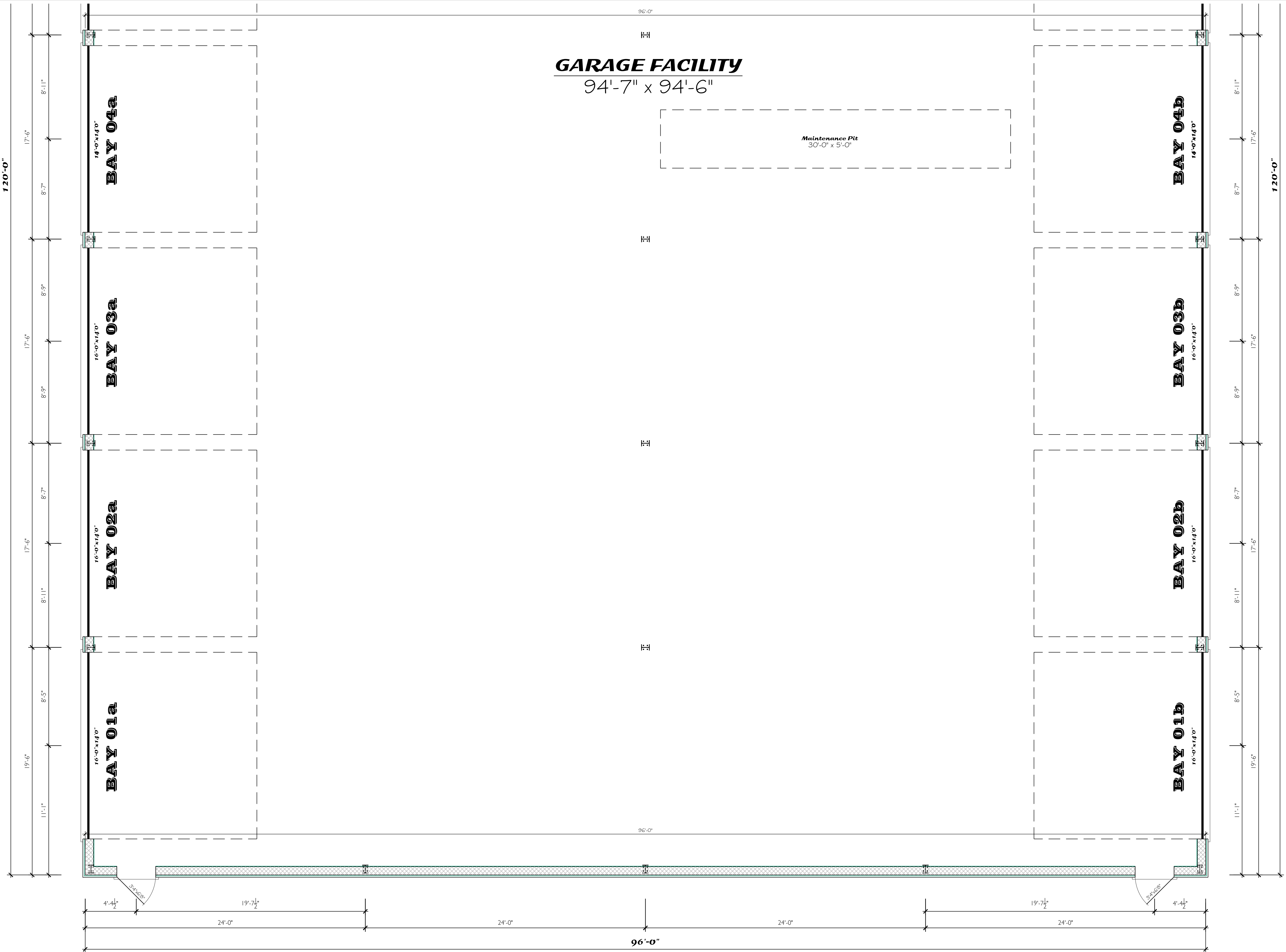
COMPUTER NO: 1151-ARCH.DWG

By: D. T. ANNABLE

SCALE: 1/4" = 1'-0"

**Rev. 08**

Lead Design Consultant: **Annable Designs**  
DAVID T. ANNABLE - DESIGNER



### LEVEL 1 - FLOOR PLAN

<b>Interior</b> <b>In-W01</b>	<b>Interior</b> <b>In-W02</b>	<b>Interior</b> <b>In-W03</b>	<b>WALL TYPE</b> <b>(W04)</b>
1/2" Gyp. Wallboard 2"x4" Frame Wall (SPF#2) @ 16" on centre 1/2" Gyp. Wallboard	1/2" Gyp. Wallboard 2"x6" Frame Wall (SPF#2) @ 16" on centre 1/2" Gyp. Wallboard	1/2" Gyp. Wallboard 2"x6" Frame Wall (SPF#2) @ 16" on centre R5 Cont' Insul (min) 1/2" Gyp. Wallboard	<b>1HR FRR</b> <b>ULC W305</b> - 1 Layer of 5/8" Type "X" Gypsum Wallboard + 2"x2" Wood Studs @ 16" cc. - 1 Layer of 5/8" Type "X" Gypsum Wallboard

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- Electrical Systems  
- Foundation Drainage Layer  
- Veneer Styles/Accessories  
- Windows Styles/Accessories  
- Railing Styles/Accessories  
\*\*In addition to Interior Design items such as: Finishes, Colors and Stylistic Finish Materials.

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ARCHITECT SEAL - As Required

ENGINEER SEAL - As Required

#	By	Date of Rev.	Description of Revision
8	DTA	APR 24-20	Updated Plans per Client Comments
7	JDA	Feb 06-20	Updated Plans per Client Comments
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-	DTA	JAN 16-19	Issued Preliminary Concepts to Township for Discussion

**REVISIONS & RELEASES**

**PLAN LEGEND:**

	Proposed Prefab Ext Wall (Face Stone Exterior) (As Per Prefab Plans)		Proposed 2"x6" Frame Wall (Load Bearing, 2"x6")
	Proposed Prefab Ext Wall (Steel Siding) (As Per Prefab Plans)		Proposed 2"x6" Frame Wall (Non-Load Bearing, 2"x6")
	Proposed Steel Column (As Per Prefab Plans)		Proposed 2"x4" Frame Wall
	Proposed Reference Label (As Per Prefab Plans)		

DRAWING: **Floor Plans**

PROJECT: **Municipal Garage Facility**  
Township of South Glengarry

Floor Space: 11,216 sq.ft.

Engineer: **Intelligent, Intuitive, Inspired.**  
**Engineering**  
www.inengineering.ca (613) 803-9899 andrew@ineng.ca

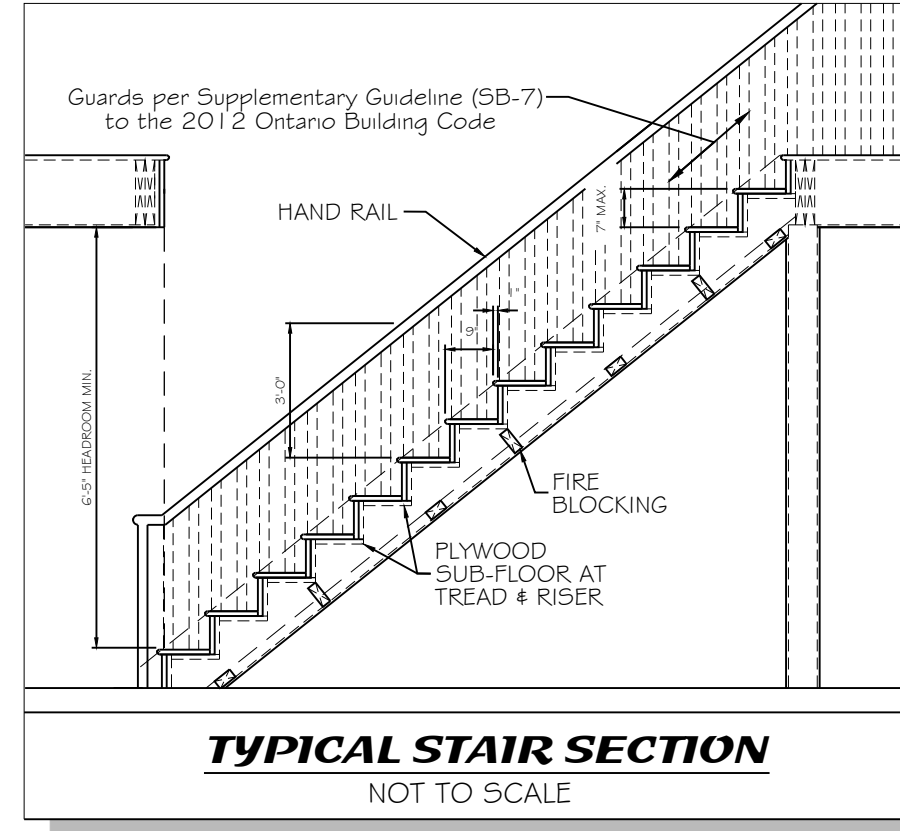
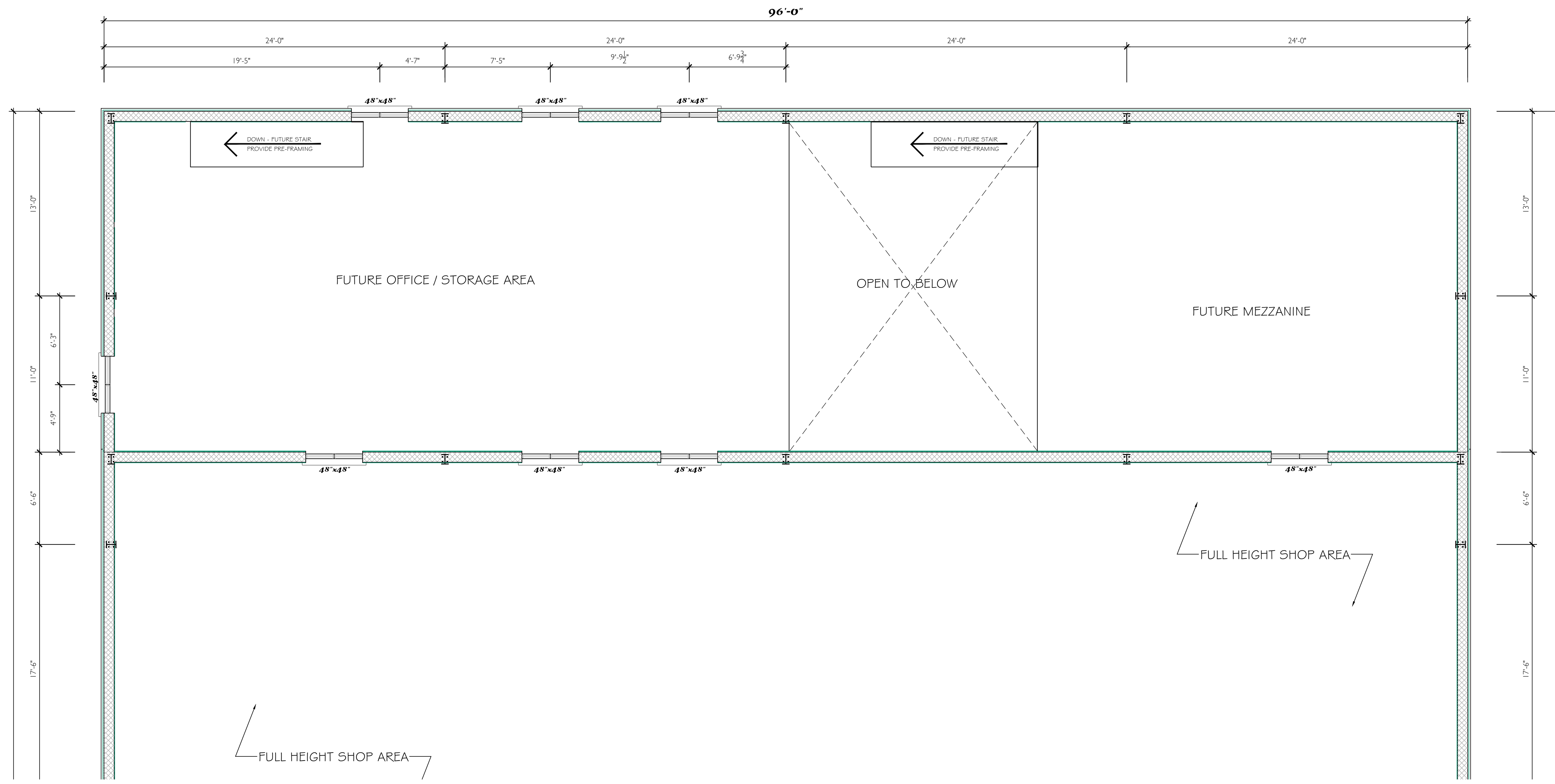
Architect: **GEOFF HODGINS ARCHITECT**  
1 Sherbrooke St. E. Perth ON K7H 1A1  
613-267-2954 ghodgins.gsh@gmail.com

Lead Design Firm: **Annable Designs ARCHITECTURE-CONSULTING-PLANNING**  
Brockville Offices: Unit 7 - 2211 Parkedale Ave Brockville, Ontario 613-926-5350 info@annabledesigns.ca www.annabledesigns.ca

PROJECT ID NUMBER: **1151**

SHEET NUMBER: **A1.5**

Lead Design Consultant: **PRELIMINARY**  
COMPLETION DATE: Feb 2020  
COMPUTER NO: 1151-ARCH.DWG  
BY: D. T. ANNABLE  
SCALE: 1/4" = 1'-0"  
**Rev. 08**



**LEVEL 2 - FLOOR PLAN  
( FUTURE PHASE )**

<b>Interior [In-W01]</b> 1/2" Gyp. Wallboard 2x4" Frame Wall (SPF#2) @ 16" on centre 1/2" Gyp. Wallboard 5-1/2"	<b>Interior [In-W02]</b> 1/2" Gyp. Wallboard 2x6" Frame Wall (SPF#2) @ 16" on centre 1/2" Gyp. Wallboard 5-1/2"	<b>Interior [In-W03]</b> 1/2" Gyp. Wallboard 2x6" Frame Wall (SPF#2) @ 16" on centre R5 Cont' Insul (min) 1/2" Gyp. Wallboard 5-1/2"	<b>WALL TYPE [W03]</b> 1HR FRR ULC W305 - 1 Layer of 5/8" Type "X" Gypsum Wallboard - 2x6" Wood Studs @ 16" cc. - 1 Layer of 5/8" Type "X" Gypsum Wallboard
--------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------

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**REVISIONS & RELEASES**

**PLAN LEGEND:**

	Proposed Prefab Ext Wall (Non-Load Bearing, 2x6")		Proposed 2x6" Frame Wall (Load Bearing, 2x6")
	Proposed Prefab Ext Wall (Load Bearing, 2x6")		Proposed 2x6" Frame Wall (Non-Load Bearing, 2x6")
	Proposed Steel Column (As Per Tracing, Plans)		Proposed Reference Label (As Per Tracing, Plans)

DRAWING: **Floor Plans**

PROJECT: **Municipal Garage Facility**  
Township of South Glengarry

Architect: **GEOFF HODGINS ARCHITECT**  
1 Sherbrooke St. E. Perth ON K7H 1A1  
613-267-2954 ghodgers.gha@gmail.com

Engineer: **Intelligent, Intuitive, Inspired. Engineering**  
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Lead Design Firm: **Annable Designs ARCHITECTURE-CONSULTING-PLANNING**  
Brockville Offices: Unit 7 - 2211 Parkedale Ave Brockville, Ontario 613-926-5350 info@annabledesigns.ca www.annabledesigns.ca

PROJECT ID NUMBER: **1151**

SHEET NUMBER: **A1.6**

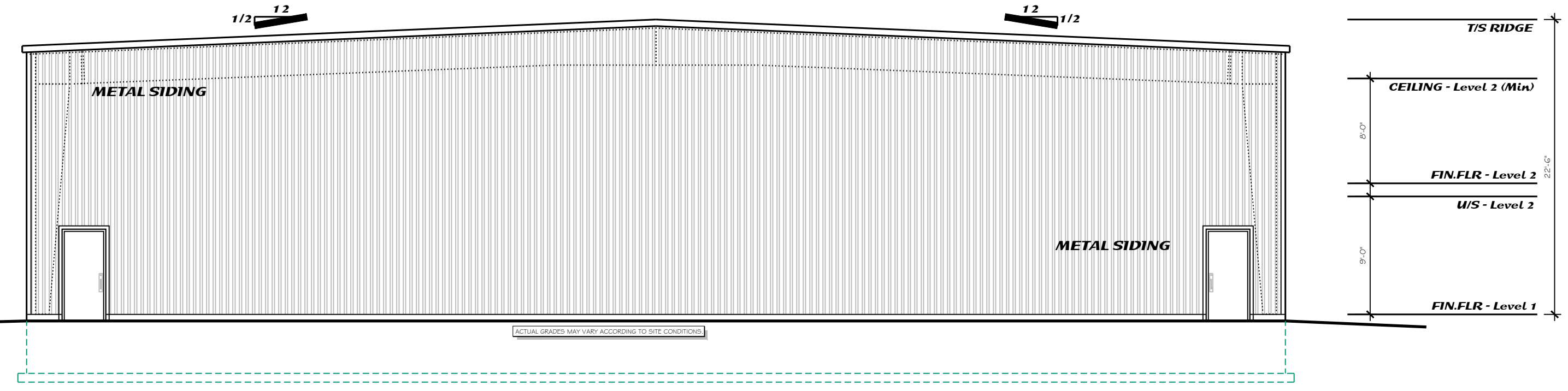
Lead Design Consultant: **PRELIMINARY**  
ANNABLE DESIGNS DAVID T. ANNABLE - DESIGNER

COMPLETION DATE: Feb 2020  
COMPUTER NO: 1151-ARCH.DWG  
BY: D. T. ANNABLE  
SCALE: 1/4" = 1'-0"

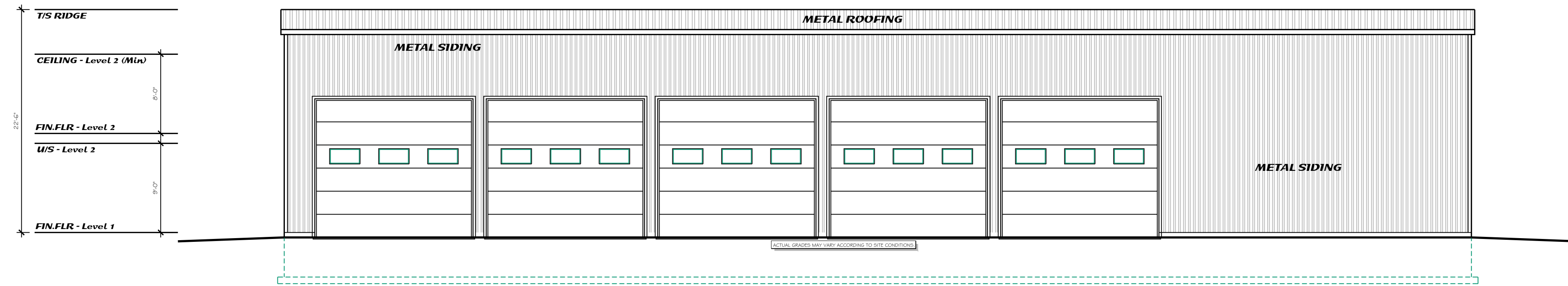
**PLAN CERTIFICATION / VALIDATION**  
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Floor Space: **11,216** sq.ft.

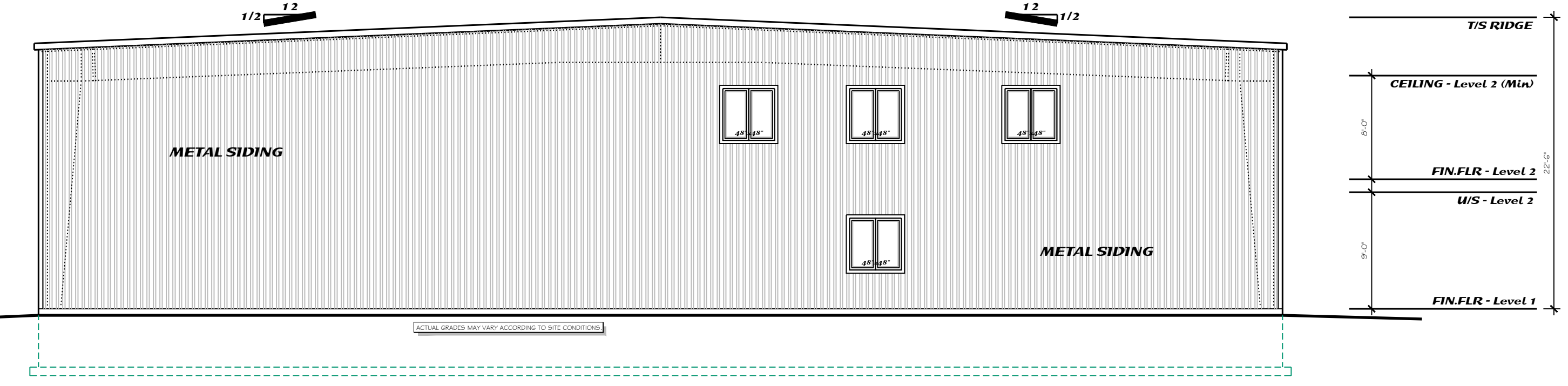
**Rev. 08**



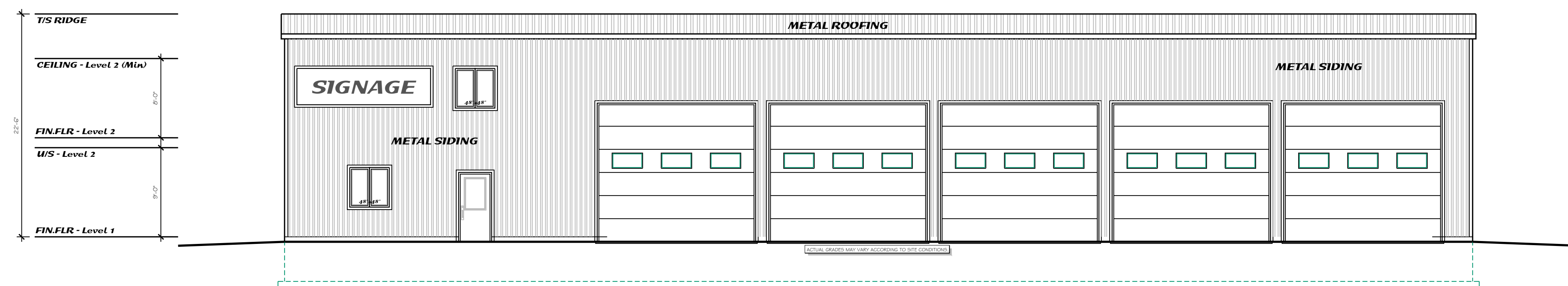
**RIGHT ELEVATION**



**REAR ELEVATION**



**LEFT SIDE ELEVATION**



**FRONT ELEVATION**

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**REVISIONS & RELEASES**

**DRAWING: ELEVATIONS**

PROJECT: **Municipal Garage Facility**  
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Floor Space: 11,216 sq.ft.

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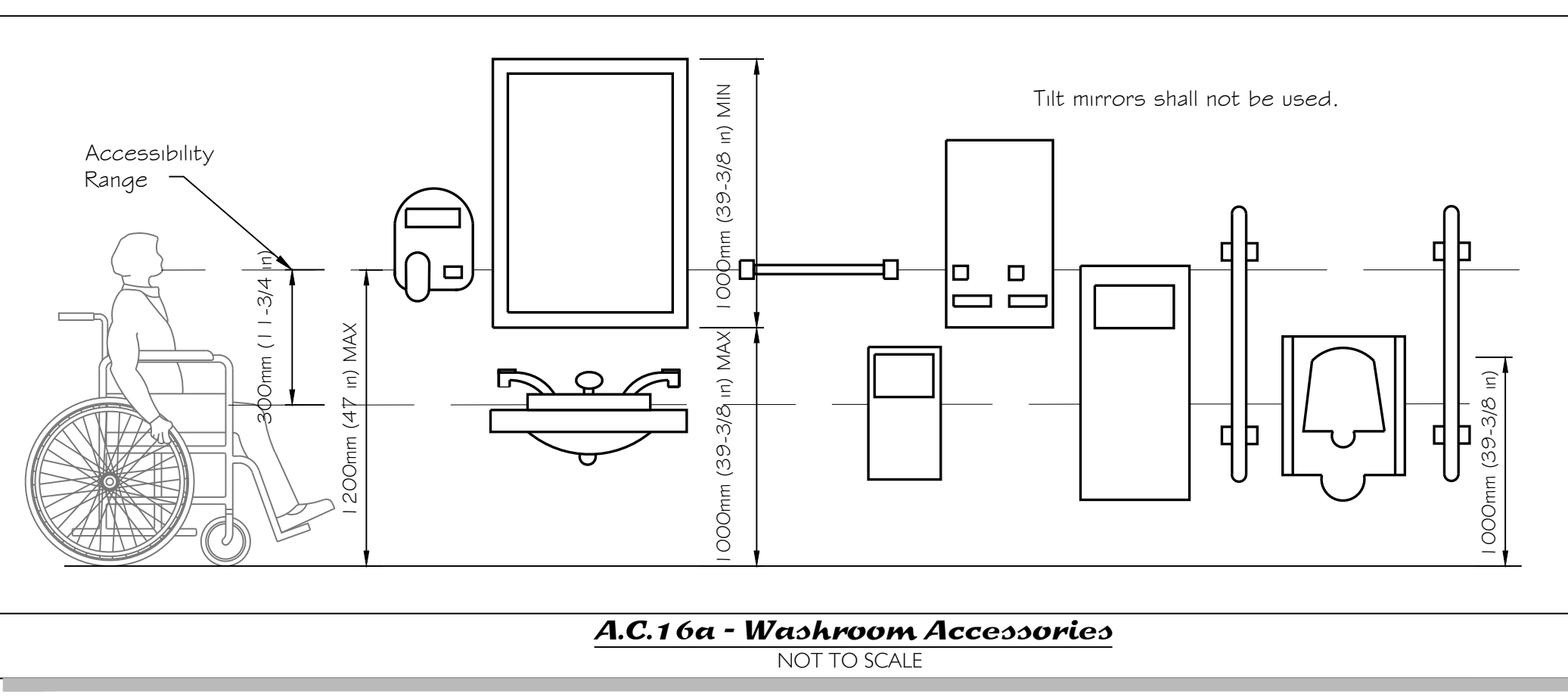
Architect: **GEOFF HODGINS ARCHITECT**  
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613-267-2554 ghdgns.shi@gmail.com

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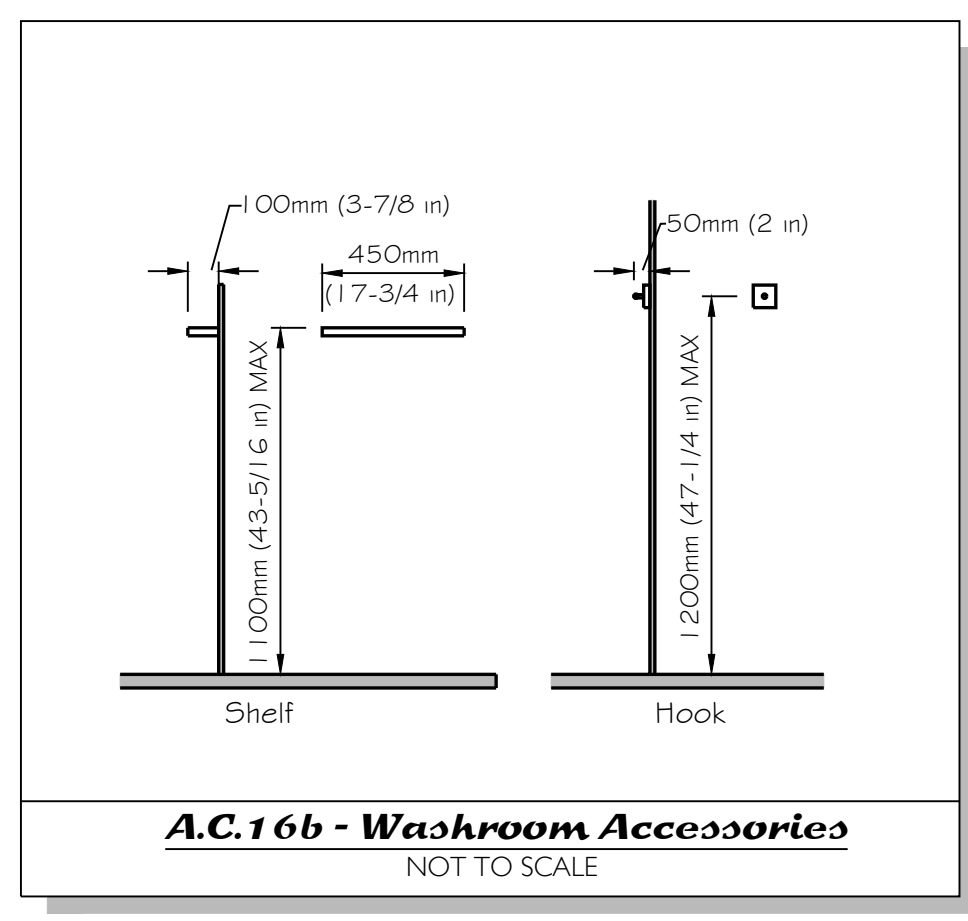
PROJECT ID NUMBER: **1151** SHEET NUMBER: **A2.1**

Lead Design Consultant: **PRELIMINARY**  
COMPLETION DATE: Feb 2020  
COMPUTER NO: 1151-ARCH.DWG  
BY: D. T. ANNABLE  
SCALE: 1/8" = 1'-0"  
**Rev. 08**

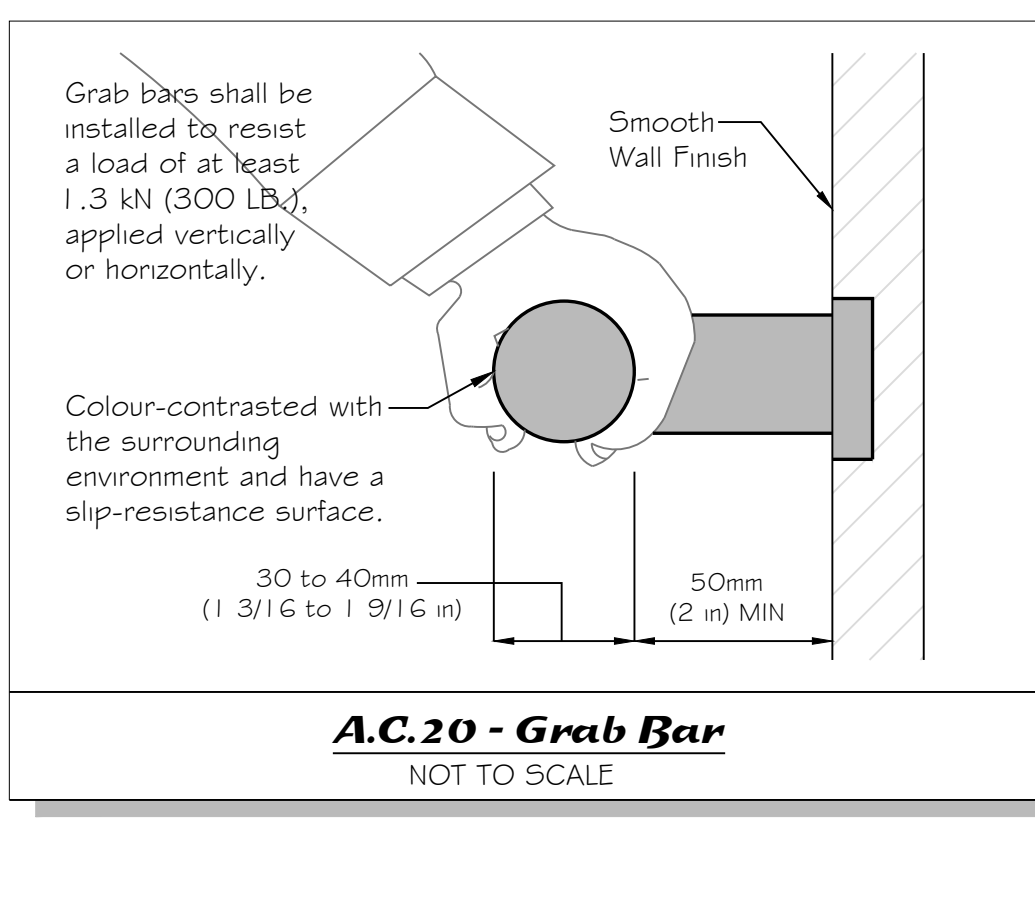
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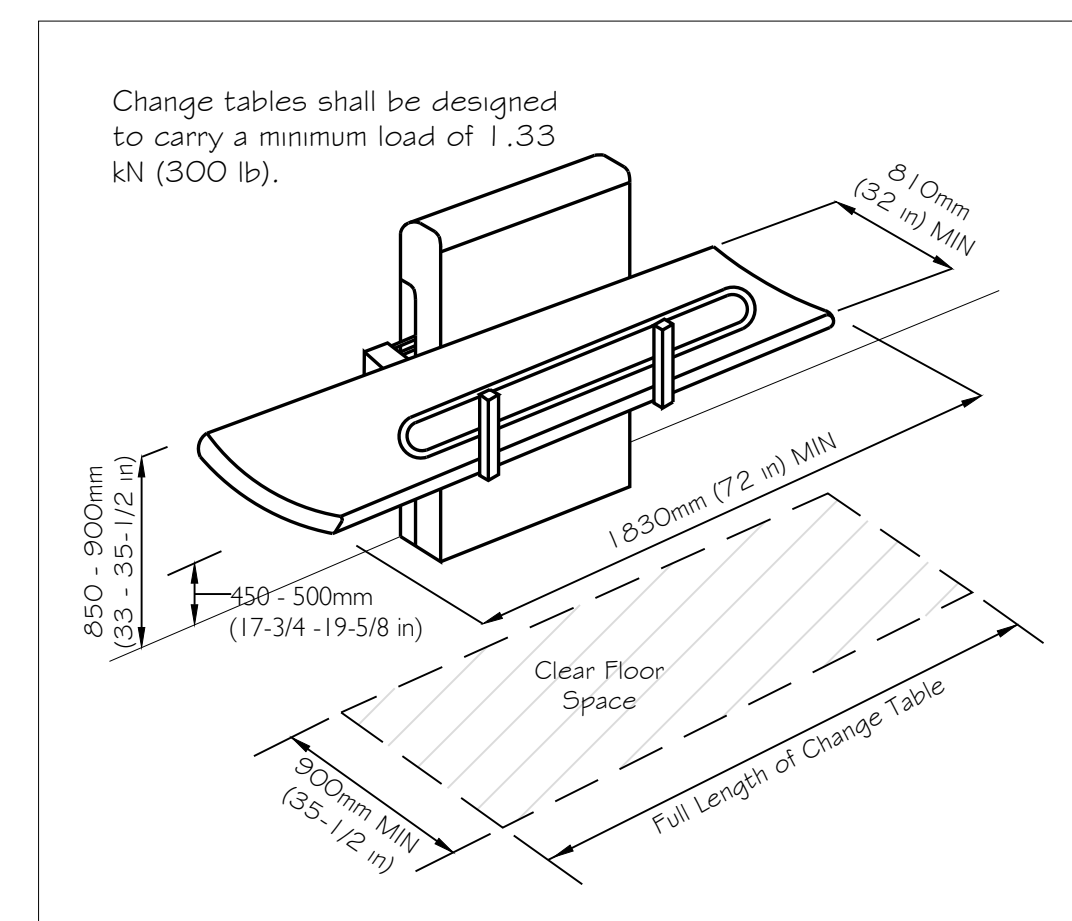
**A.C.16a - Washroom Accessories**  
NOT TO SCALE



**A.C.16b - Washroom Accessories**  
NOT TO SCALE



**A.C.20 - Grab Bar**  
NOT TO SCALE

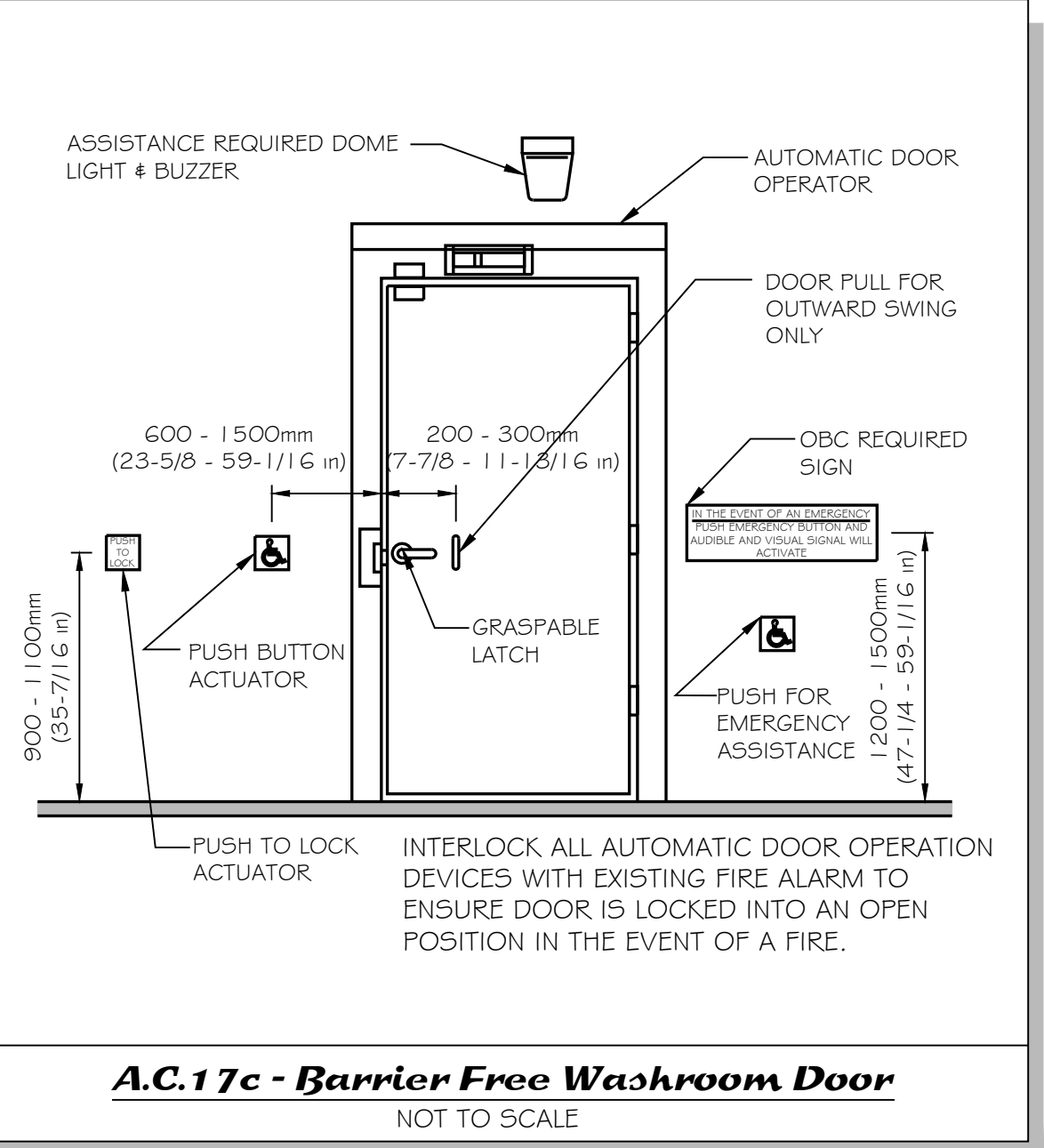


**A.C.17b - Adult Change Table**  
NOT TO SCALE

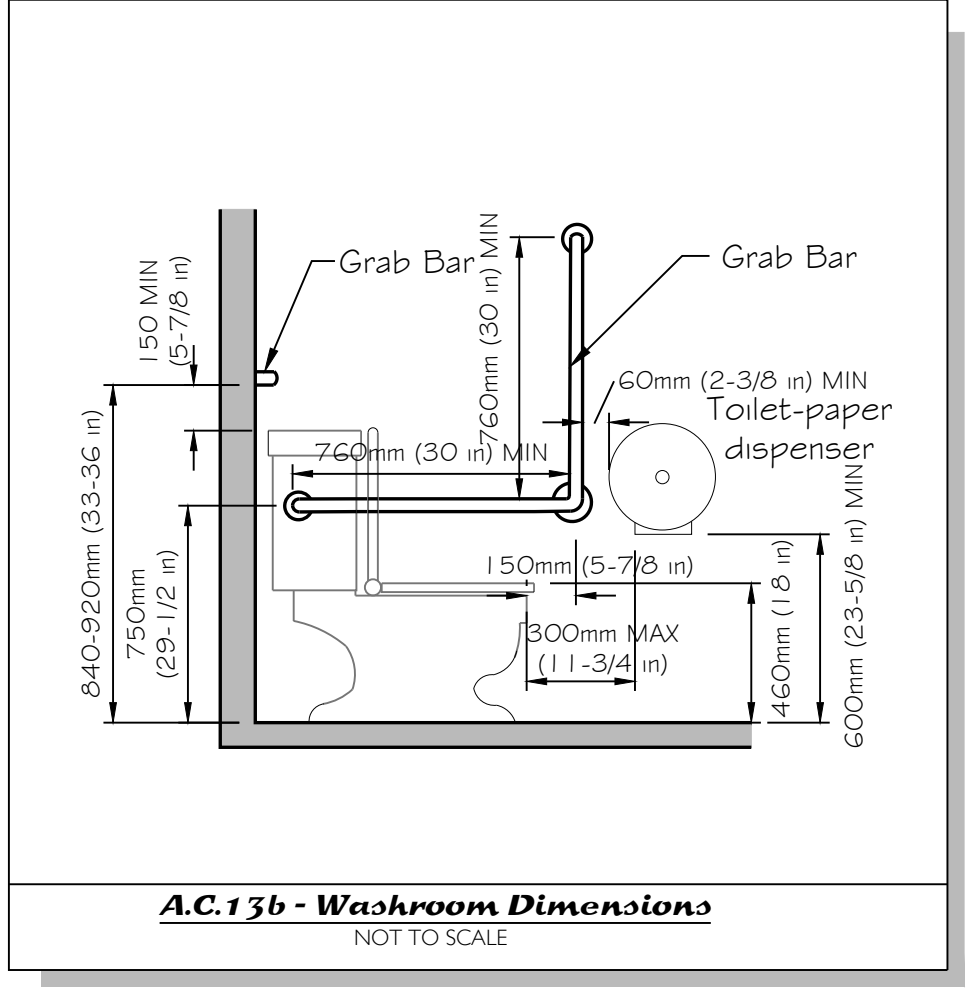
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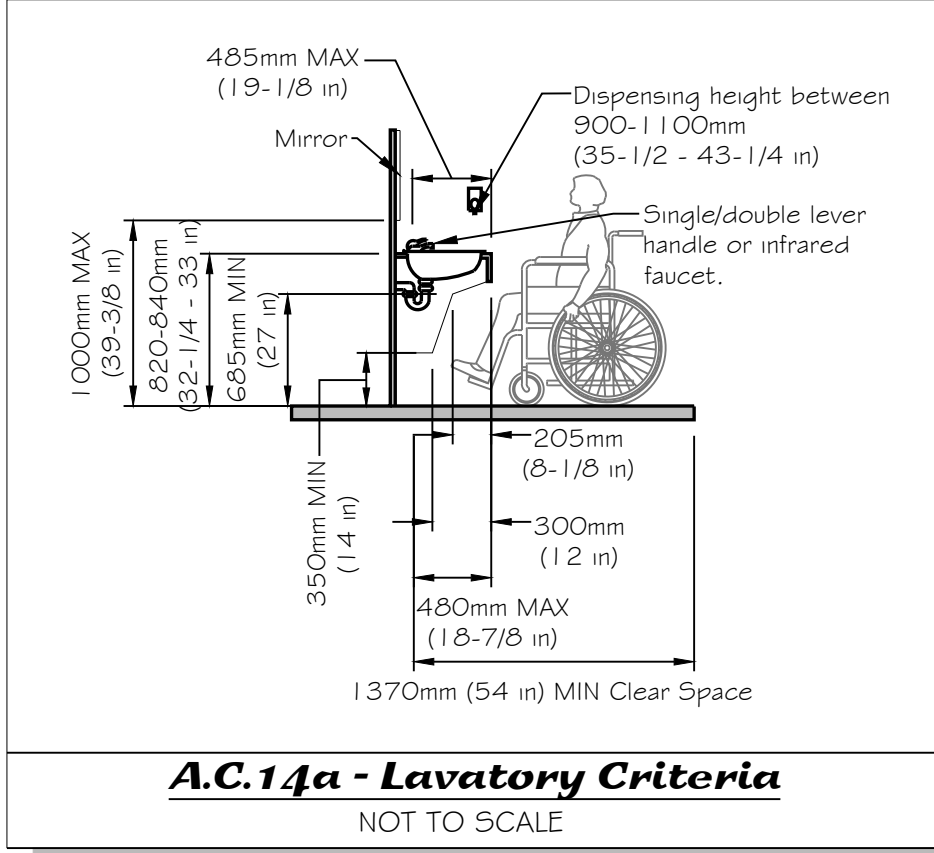
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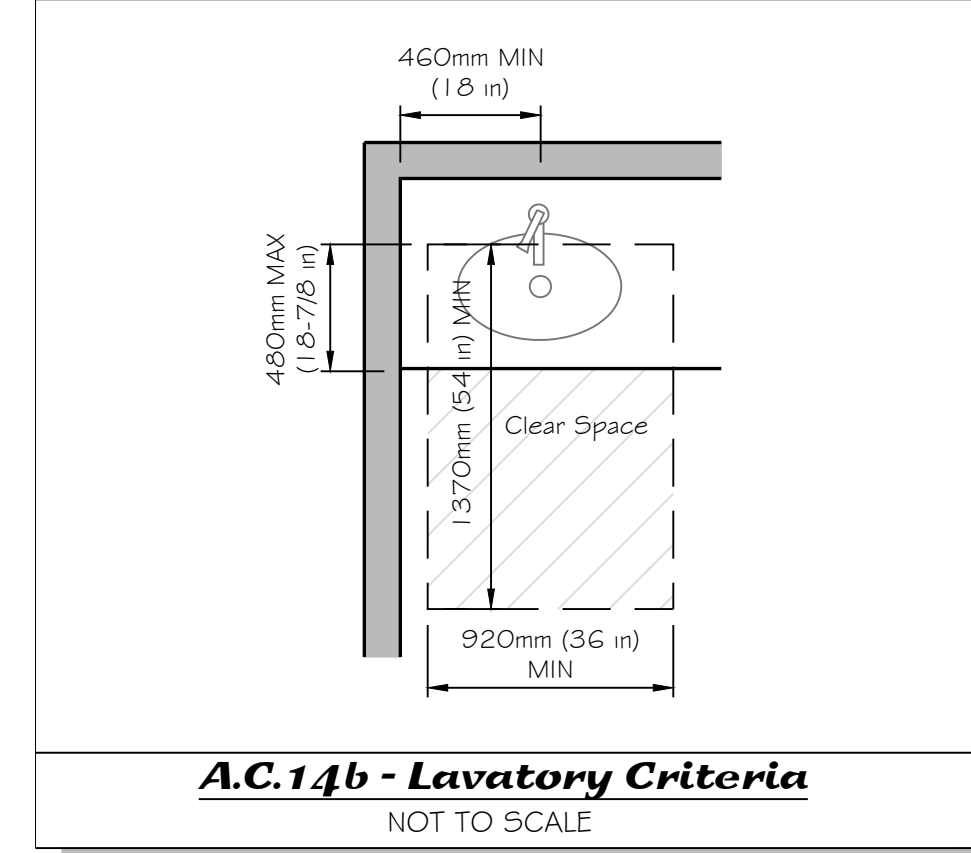
**A.C.17c - Barrier Free Washroom Door**  
NOT TO SCALE



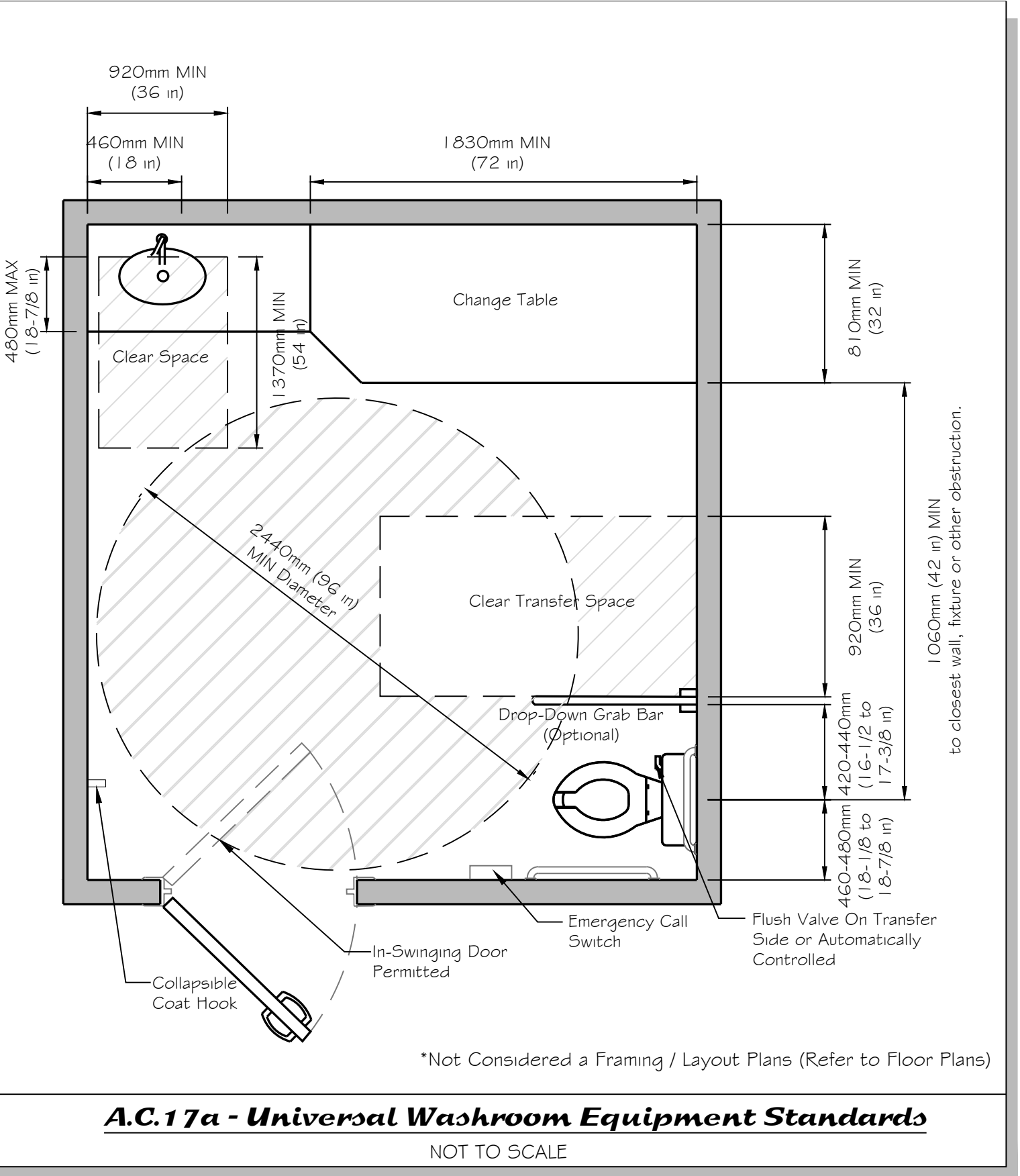
**A.C.13b - Washroom Dimensions**  
NOT TO SCALE



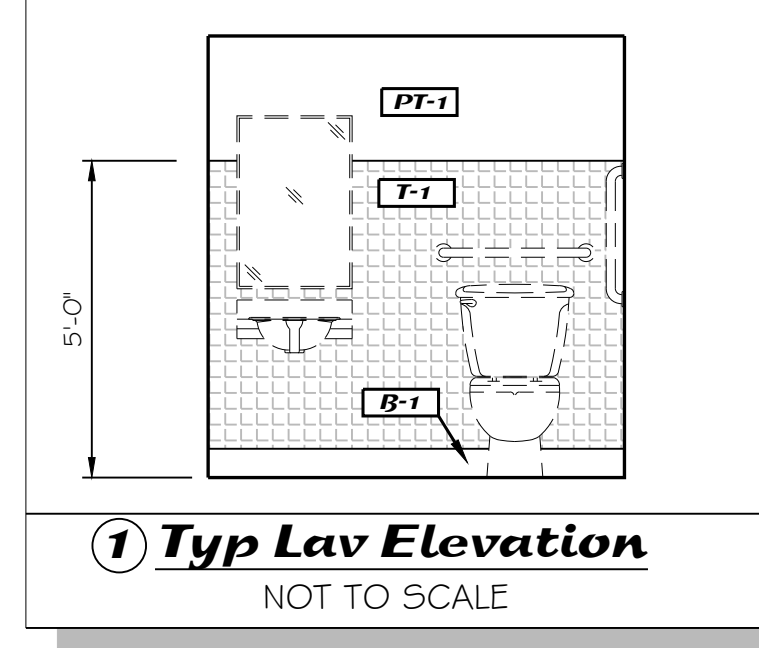
**A.C.14a - Lavatory Criteria**  
NOT TO SCALE



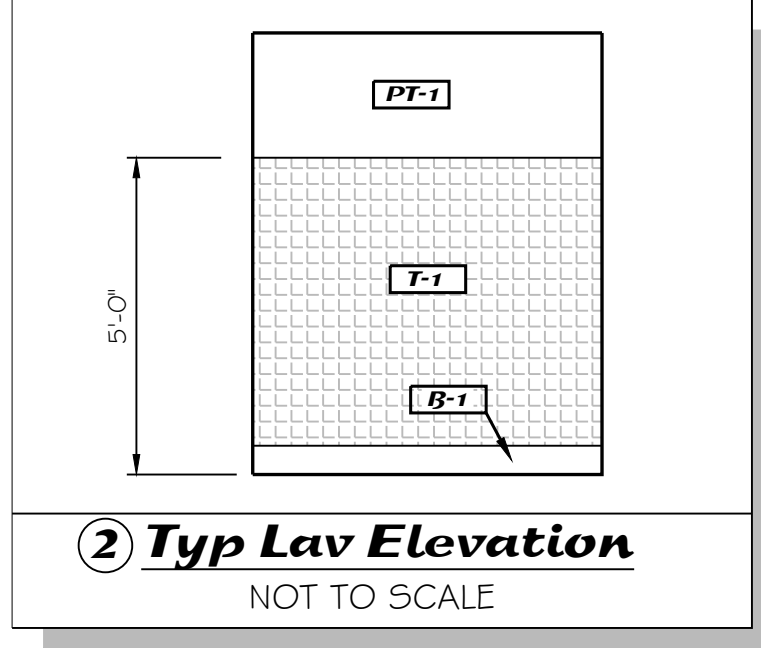
**A.C.14b - Lavatory Criteria**  
NOT TO SCALE



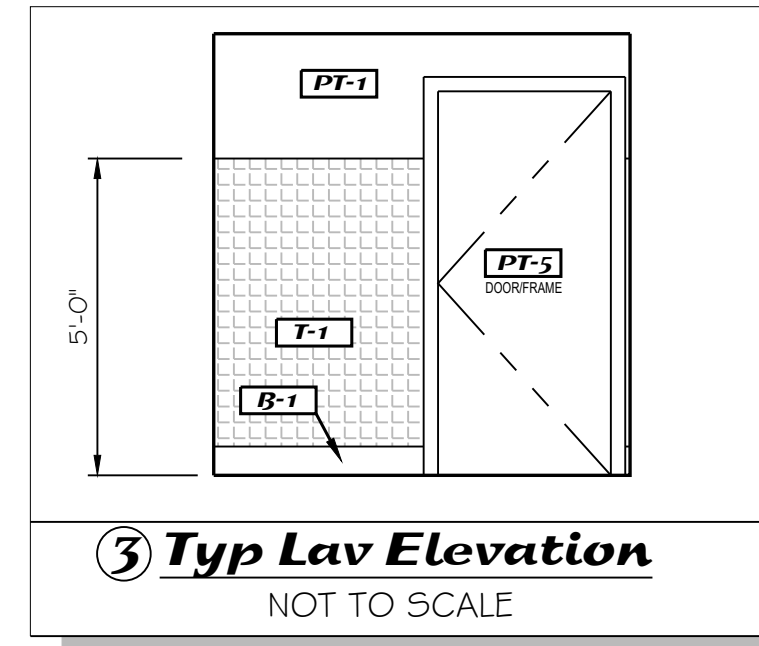
**A.C.17a - Universal Washroom Equipment Standards**  
NOT TO SCALE



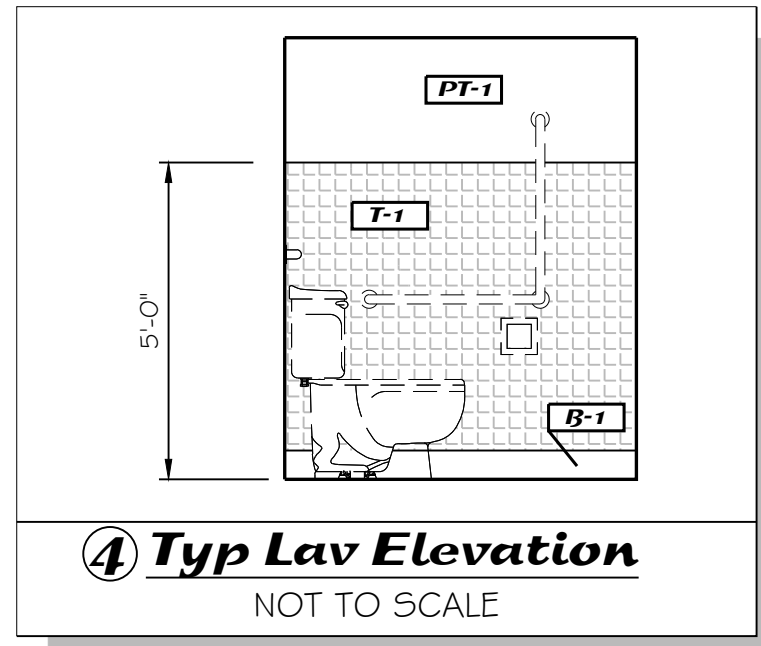
**1 Typ Lav Elevation**  
NOT TO SCALE



**2 Typ Lav Elevation**  
NOT TO SCALE



**3 Typ Lav Elevation**  
NOT TO SCALE



**4 Typ Lav Elevation**  
NOT TO SCALE

**BARRIER FREE WASHROOM, General Notes:**  
1. All washroom door handles and latching mechanisms for Toilet Partitions shall be easily operable using a closed fist.  
2. All doors shall have a minimum clear opening of at least 34" (860mm), when the door is in an open position.  
3. Provide spring-type or gravity hinges so that partition doors close automatically.  
4. Grab Bars shall be capable of resisting a load of at least 1.3kN applied vertically or horizontally, and be not less than 1.30" (33mm) and not more than 1.50" (40mm) in diameter.  
5. Grab Bars shall have a clearance of not less than 1-1/4" (30mm) and not more than 2" (50mm) from the wall to the inside surface of the grab bar, and be provided with a slip-resistant surface/finish.  
6. Provide Motion Sensor Control for barrier free washroom lights with a 30 Minute lighting override time period upon detection motion.

**UNIVERSAL WASHROOM, General Notes:**  
1. All Barrier Free door controls shall be located not less than 24" and not more than 60" beyond the door swing where the door opens towards the control.  
2. All Washroom door handles and latching mechanisms for toilet partitions shall be easily operable using a closed fist.  
3. All doors shall have a minimum clear opening of at least 34" (860mm), when the door is in an open position.  
4. Provide spring-type or gravity hinges so that partition doors close automatically.  
5. Antislip Strips shall be provided with a 50" Door Pull on both sides of the door, bear the latch side of the door, located at a height of not less than 35-3/8" (900mm) and not more than 43"-1/4" (1100mm) above the finished floor.  
6. Provide 50" Door Hooks behind single washroom doors and in each stall in any public washrooms. Hooks shall not project more than 2" and the mounting height in a B<sup>F</sup> Washroom shall be 48" AFF and 60" in all other locations.  
7. Grab Bars shall be capable of resisting a load of at least 1.3kN applied vertically or horizontally, and be not less than 1.30" (33mm) and not more than 1.50" (40mm) in diameter.  
8. Grab Bars shall have a clearance of not less than 1-1/4" (30mm) and not more than 2" (50mm) from the wall to the inside surface of the grab bar, and be provided with a slip-resistant surface/finish.  
9. Fold-down Grab Bars shall be located 15-3/4" from the center line of the Water Closet and shall not require a force of more than 2.2N to pull it down.  
10. Provide Motion Sensor Control for barrier free washroom lights with a 30 Minute lighting override time period upon detection motion.  
11. Provide a complete emergency call system. The system shall be initiated from pull down or wall controls adjacent to the Water Closet and shall include an audible and visual alarm outside the washroom. Provide all necessary wiring and controls for a complete operations system to meet the CBC2012 Barrier Free Requirements.  
12. Provide an emergency sign that contains the words 'In the Event of an Emergency Push Emergency Button and Audible and Visual Signal will Activate' in letter of at least 1/8" (25mm) high with a 1/4" (5mm) stroke and that is posted above the Emergency Button.

**PLUMBING FIXTURE SCHEDULE**  
\*All Fixtures to be installed in accordance with the latest edition of the Ontario Building Code.

ID	Qty	Fixture	Trap	Waste	Vent	Cold W.	Hot W.	Description
A	1	Toilet (B.F.)	Internal	3"	2"	1/2"	---	6.0 Lpf, PRESSURE ASSISTED, ELONGATED, WHITE 16.5" RIM HEIGHT, MAX. 1.6" SEAT HEIGHT HEAVY DUTY, OPEN FRONT SEAT & COVER, "SS" HINGE *Style & Model to be Confirmed by Builder
B	1	Sink (B.F.)	1-1/2"	1-1/2"	1-1/2"	1/2"	1/2"	21" x 17.5" x 5" DP, WHITE SINGLE LEVER FAUCET - POP-UP DRAIN *Style & Model to be Confirmed by Builder
C	3	Toilet (Standard)	Internal	3"	2"	1/2"	---	6.0 Lpf, PRESSURE ASSISTED, ELONGATED, WHITE HEAVY DUTY, OPEN FRONT SEAT (LESS COVER) SS HINGE *Style & Model to be Confirmed by Builder
D	3	Sink (Standard)	1-1/2"	1-1/2"	1-1/2"	1/2"	1/2"	21" x 17.5" x 5" DP, WHITE SINGLE LEVER FAUCET - POP-UP DRAIN *Style & Model to be Confirmed by Builder
E	--	Urinal (Standard)	1-1/2"	1-1/2"	1-1/2"	1/2"	1/2"	3.8 Lpf, FLUSH VALVE FLUSHING RIM, WHITE *Style & Model to be Confirmed by Builder

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ARCHITECT SEAL - As Required

**REVISIONS & RELEASES**

**DRAWING: DETAILS & STANDARDS**

PROJECT: **Municipal Garage Facility**  
Township of South Glengarry

Architect: **GEOFF HODGINS ARCHITECT**  
1 Shebrooke St. E. Perth ON K7H 1A1  
613-267-2954 ghd@jshgsh@gmail.com

Lead Design Firm: **Annable Designs ARCHITECTURE-CONSULTING-PLANNING**  
Brookville Offices: Unit 7 - 2211 Parkedale Ave Brookville, Ontario  
613-926-5350 info@annabledesigns.ca www.annabledesigns.ca

PROJECT ID NUMBER: **1151**

SHEET NUMBER: **A4.1**

Lead Design Consultant: **PRELIMINARY**  
DAVID T. ANNABLE - DESIGNER

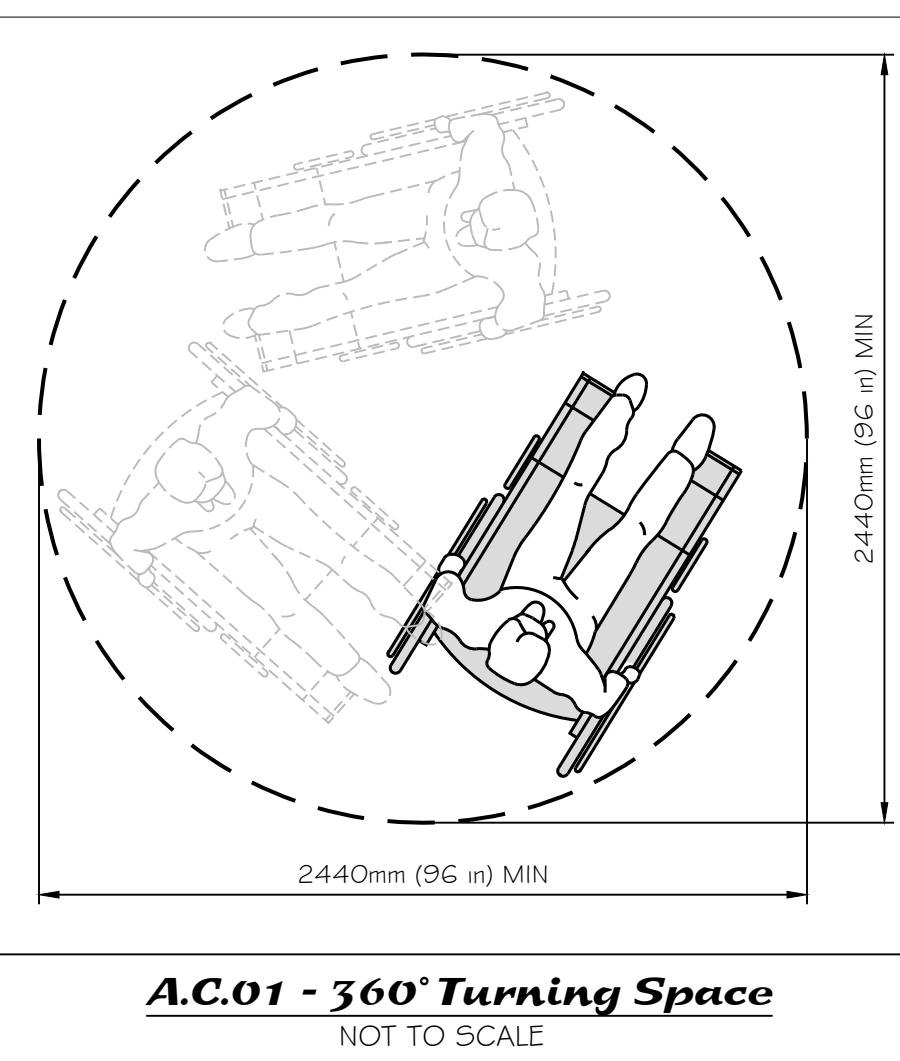
COMPLETION DATE: Feb 2020

COMPUTER NO: 1151-ARCH.DWG

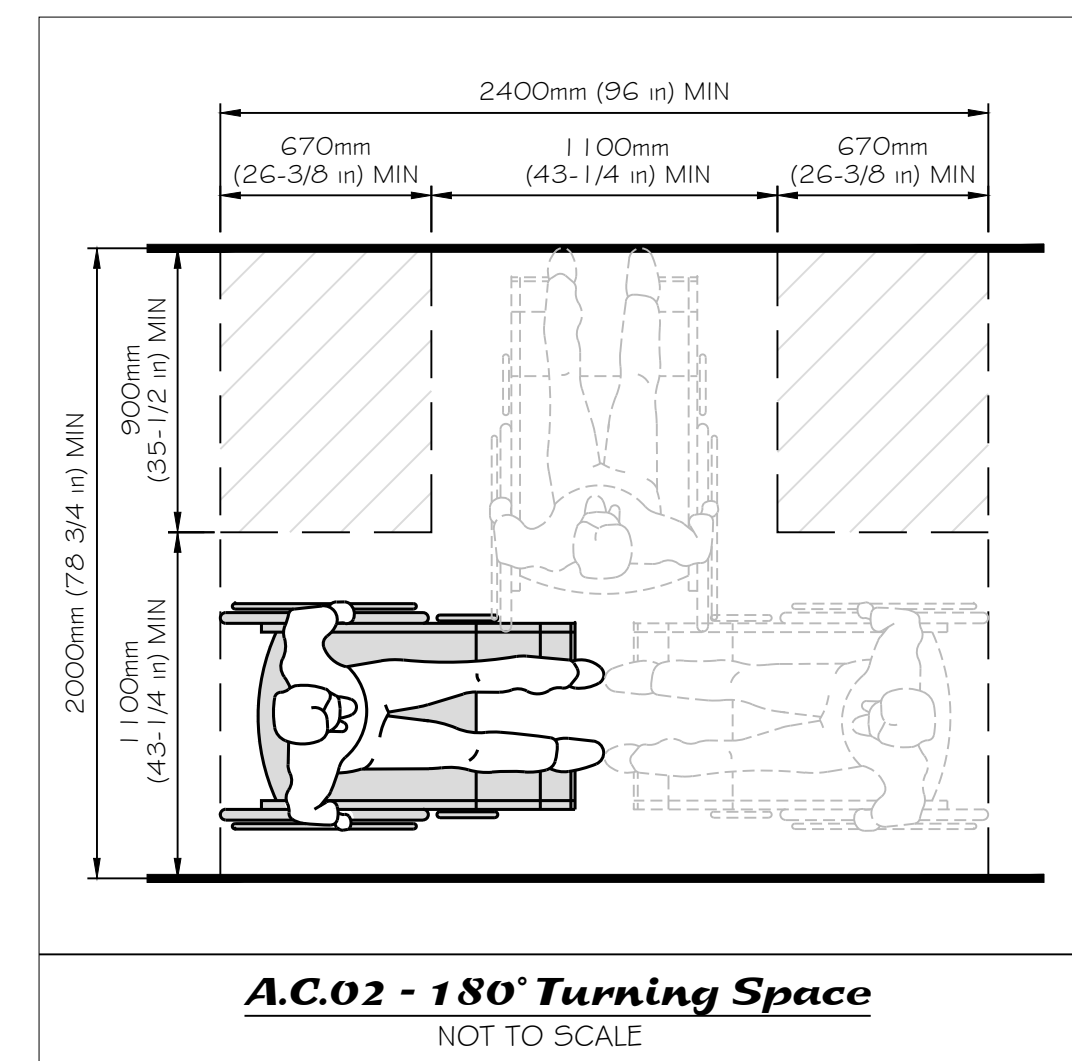
By: J. D. Annable

SCALE: 1/2" = 1'-0"

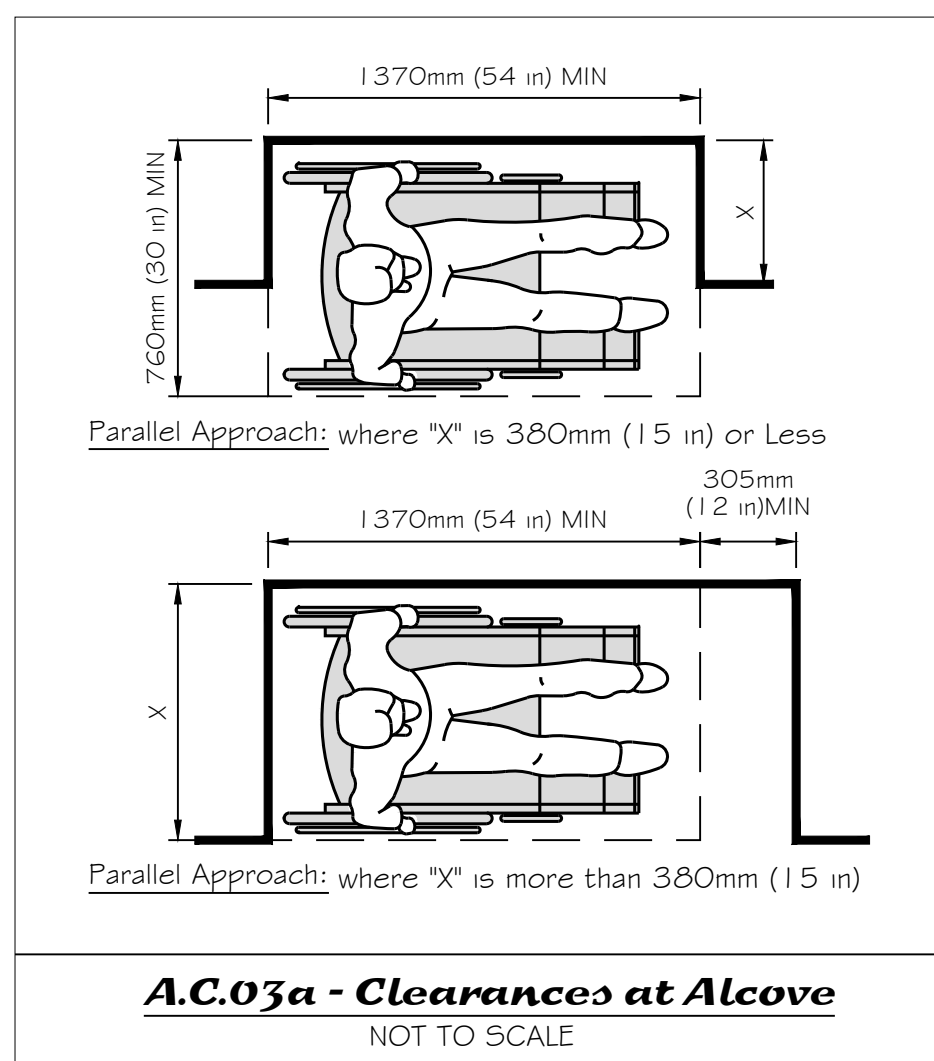
**Rev. 08**



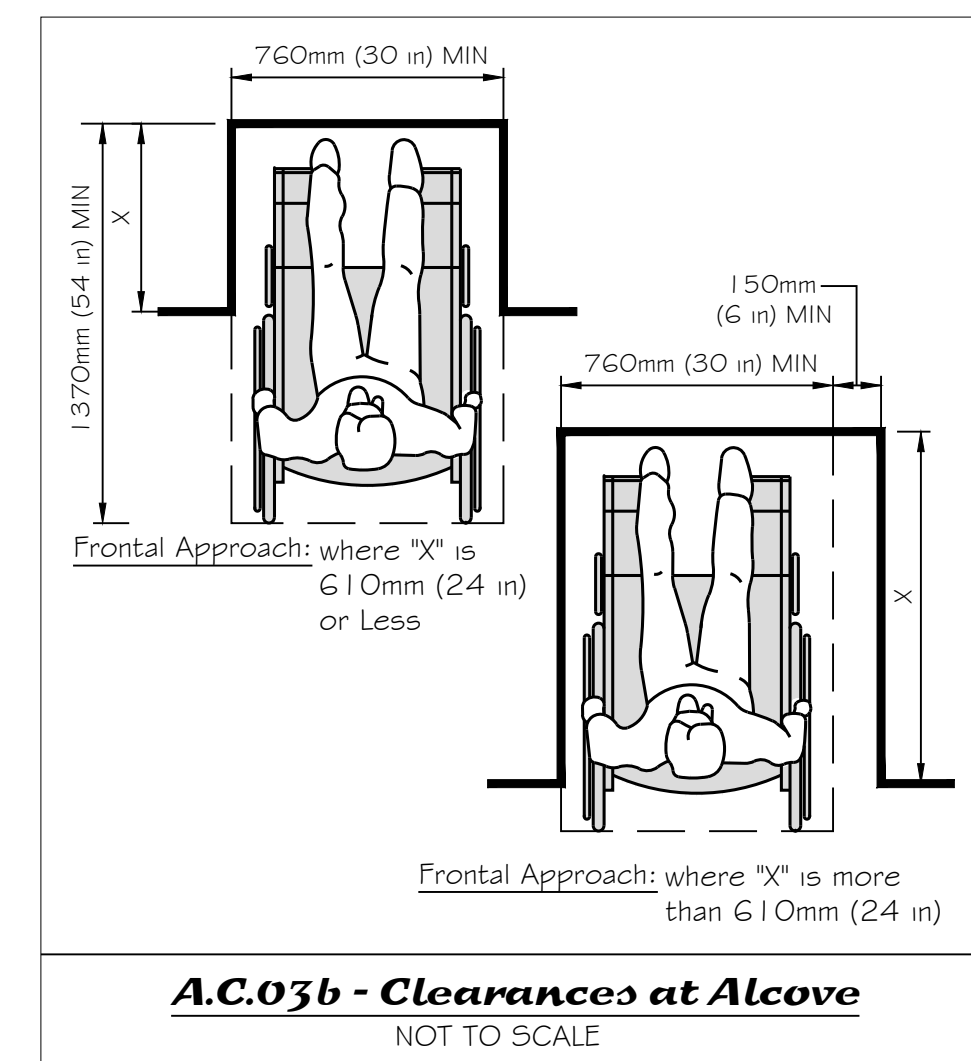
**A.C.01 - 360° Turning Space**  
NOT TO SCALE



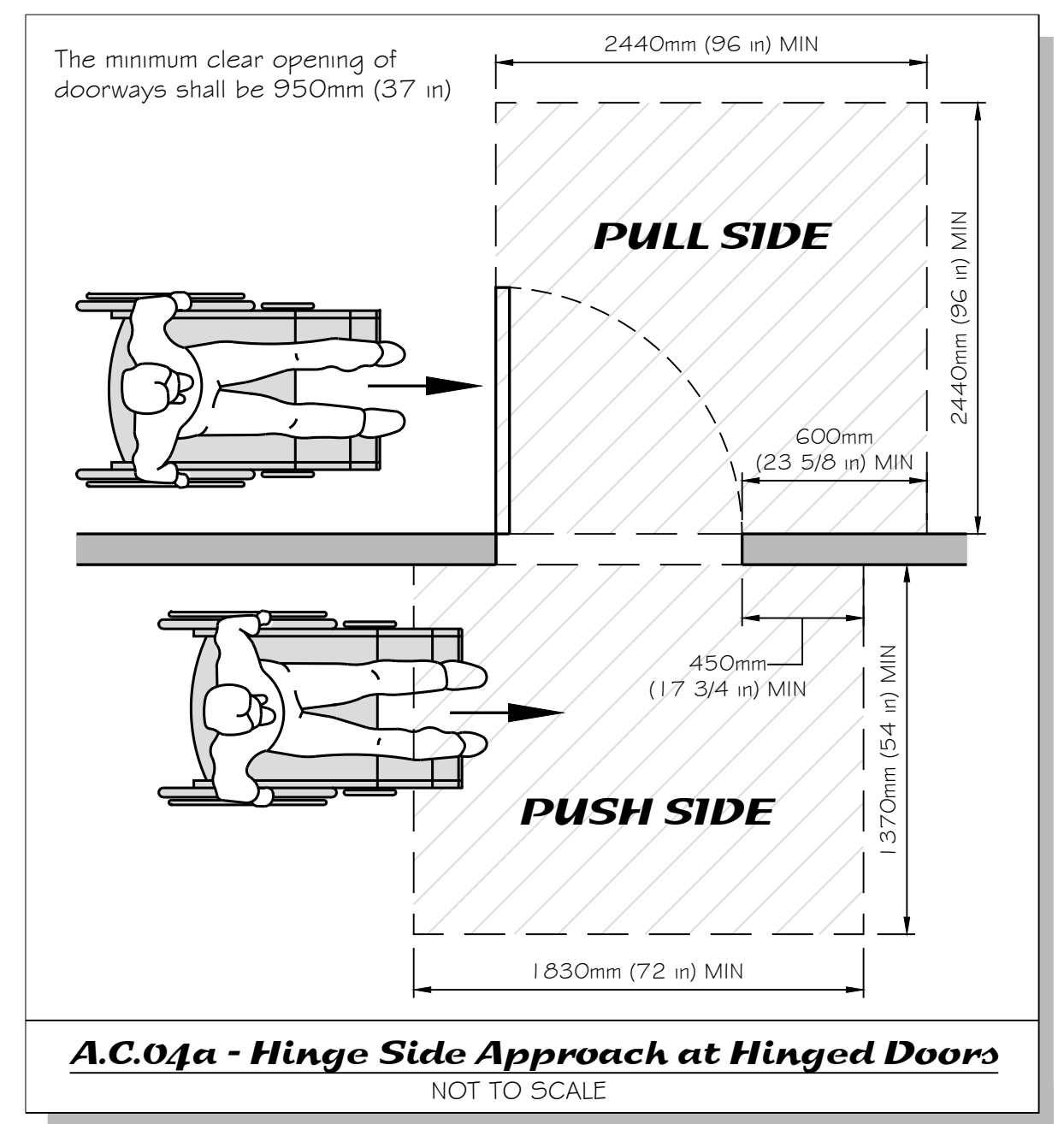
**A.C.02 - 180° Turning Space**  
NOT TO SCALE



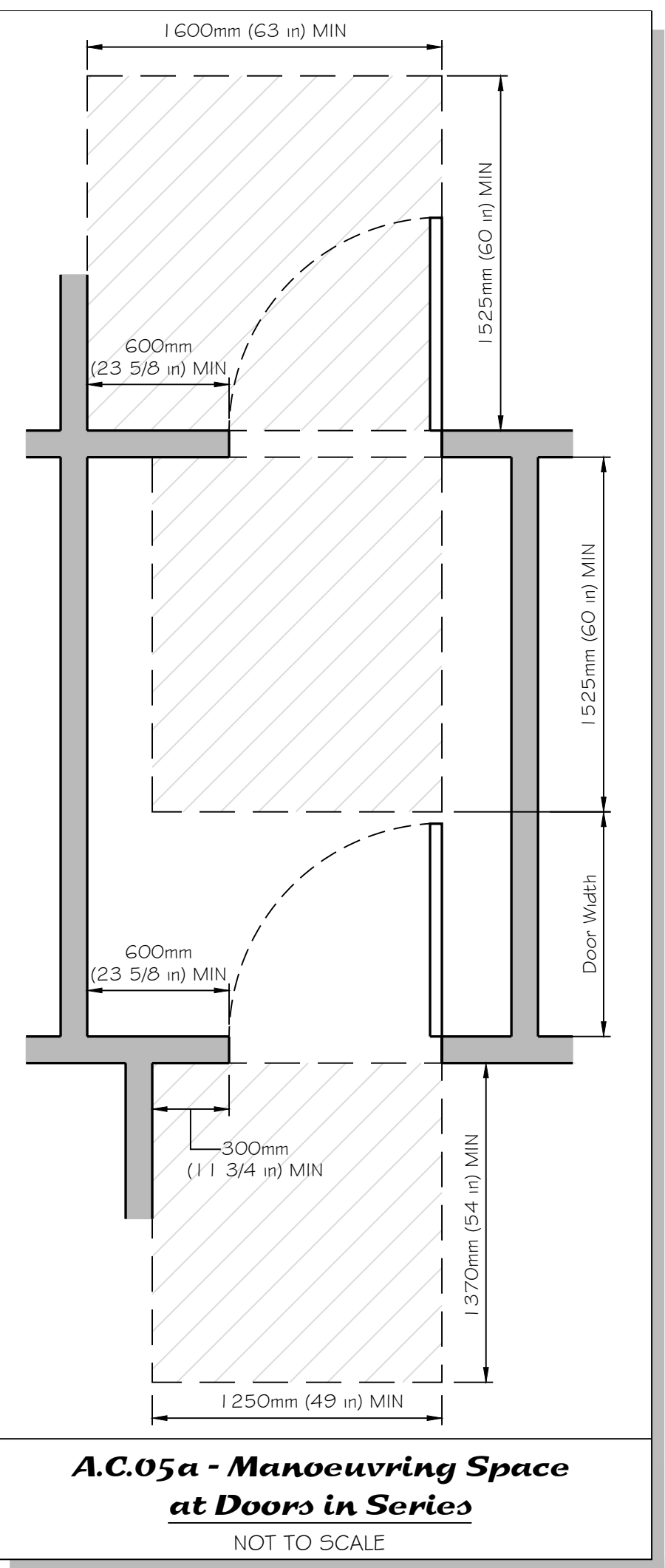
**A.C.03a - Clearances at Alcove**  
NOT TO SCALE



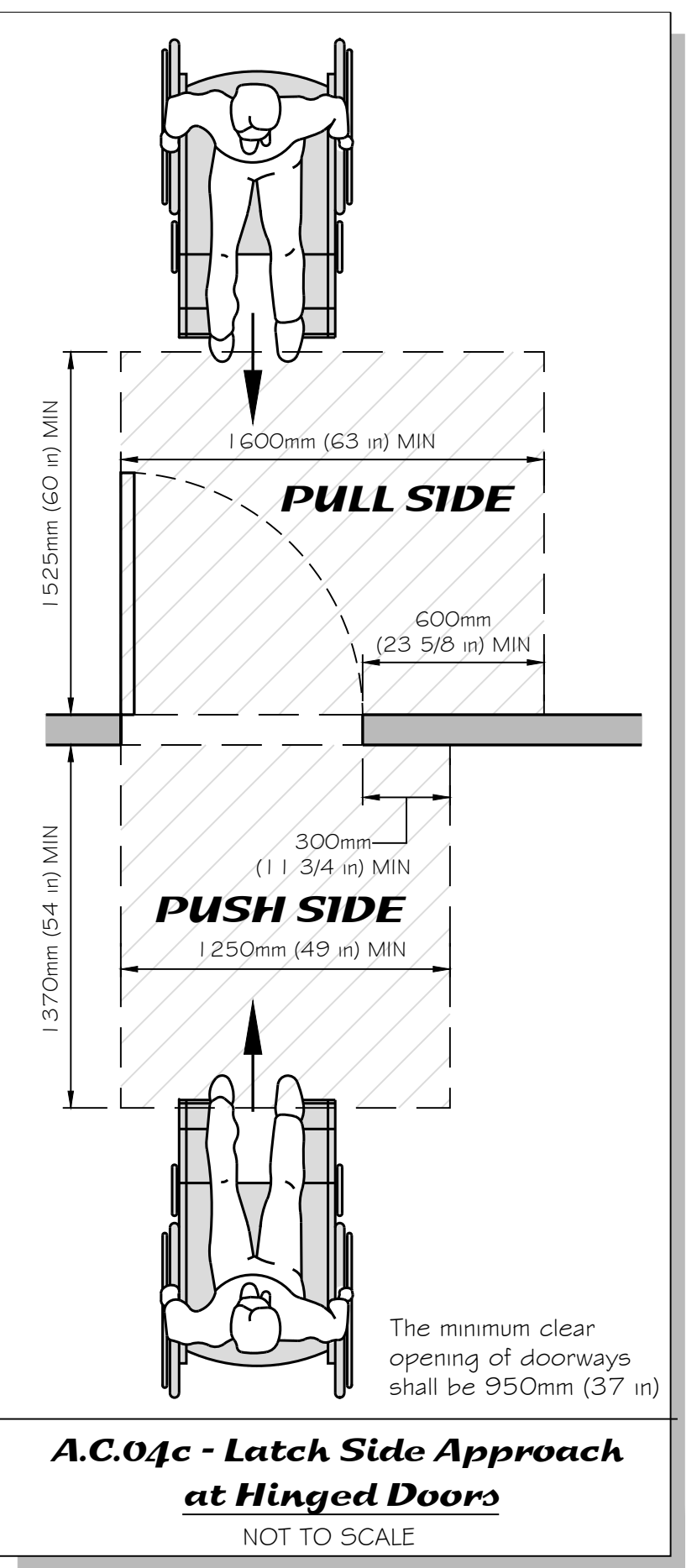
**A.C.03b - Clearances at Alcove**  
NOT TO SCALE



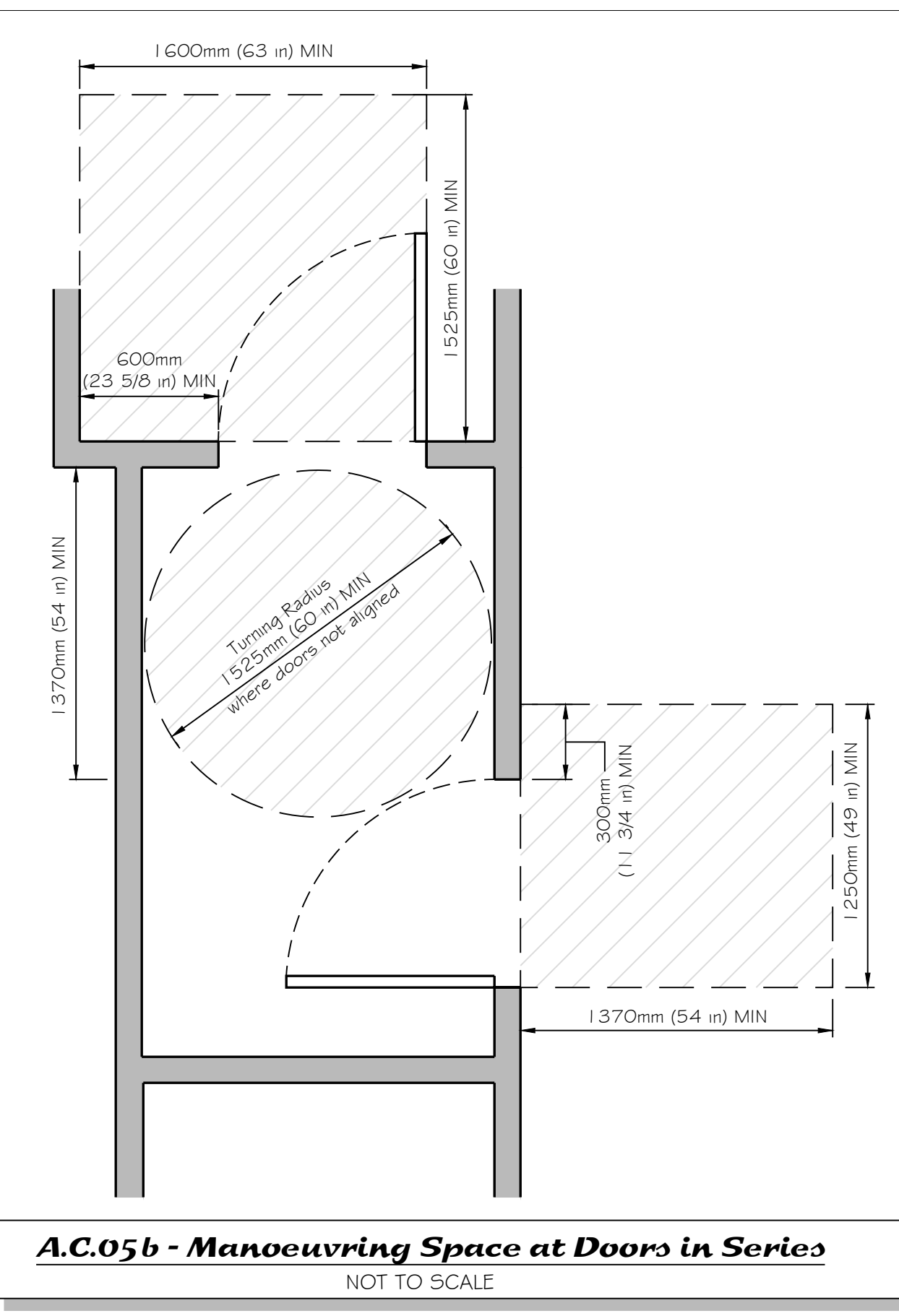
**A.C.04a - Hinge Side Approach at Hinged Doors**  
NOT TO SCALE



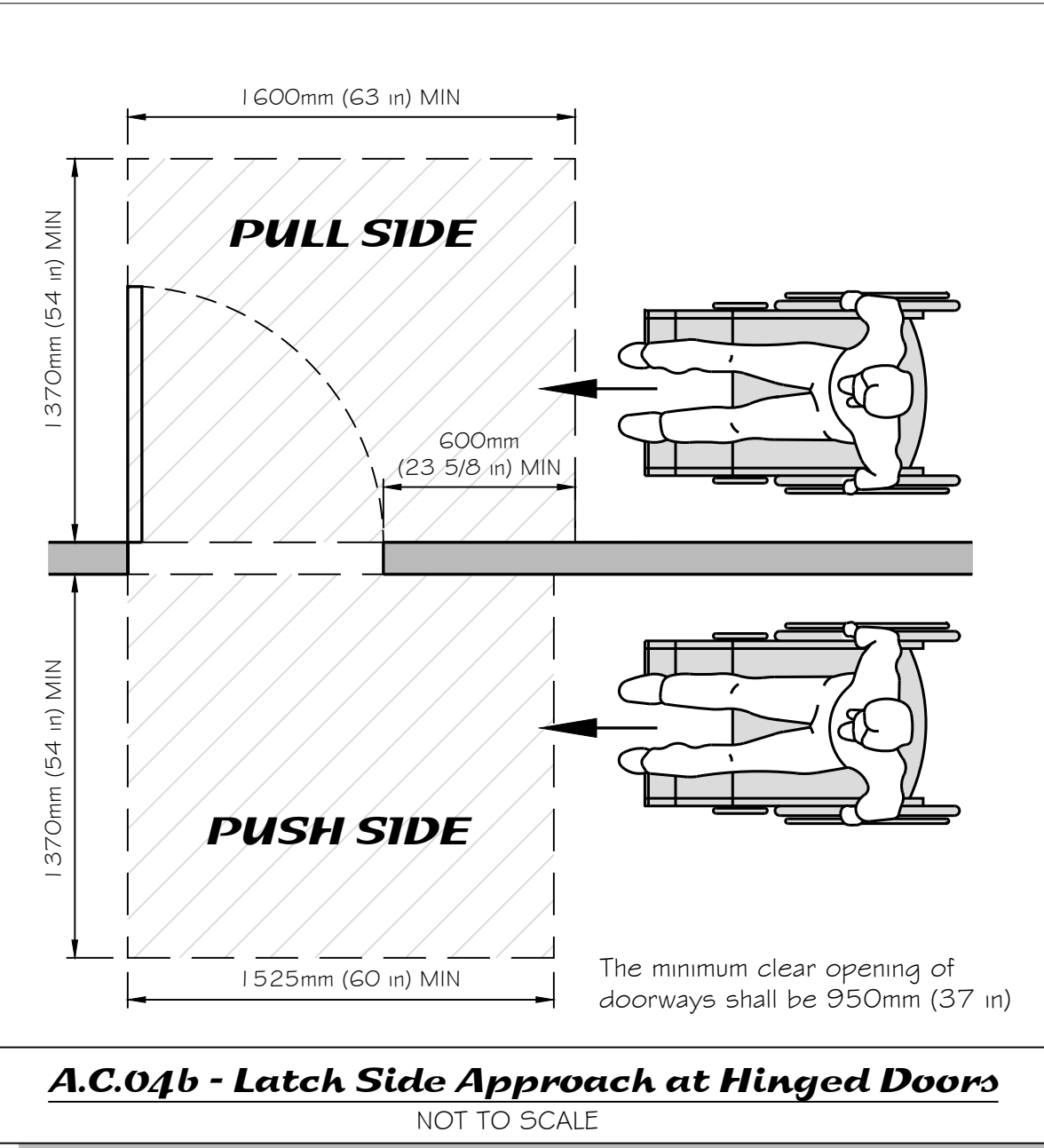
**A.C.05a - Manoeuvring Space at Doors in Series**  
NOT TO SCALE



**A.C.04c - Latch Side Approach at Hinged Doors**  
NOT TO SCALE



**A.C.05b - Manoeuvring Space at Doors in Series**  
NOT TO SCALE



**A.C.04b - Latch Side Approach at Hinged Doors**  
NOT TO SCALE

**DOOR, General Notes:**

1. Thresholds shall be not more than 1/2" (13mm) high.
2. Thresholds over 6 mm (1/4 in) high shall be beveled at a maximum slope of 1:2 (50%).
3. Door hardware (operating devices such as handles, pulls, latches, and locks) shall:
  - be operable by using a closed fist;
  - not require fine finger control, tight grasping, pinching, or twisting of the wrist to operate; and
  - be mounted between 35-1/2" to 43-1/4" (900 to 1100mm) from the floor.
4. Operating hardware on sliding doors shall be exposed and usable from both sides when sliding doors are fully open.
5. The maximum door opening force for pushing or pulling open a door shall be no more than:
  - 30 N (6.5 lb.) for exterior hinged doors;
  - 22 N (4.6 lb.) for interior hinged doors;
  - 22 N (4.6 lb.) for sliding or folding doors.
6. Door closers shall be adjusted to the least pressure possible, but never more than the opening forces noted in this section.
7. The sweep/period of door closers shall be adjusted so that, from an open position of 90 degrees, the door will take not less than 3 seconds to move to a semi-closed position of approx. 12 degrees.
8. Power-assisted swinging doors shall:
  - take not less than 3 seconds to move from the closed to the fully open position; and
  - require a force of not more than 66 N (13.8 lb.) to stop door movement;
9. Permanent mats and metal gratings at entrances and in aisles shall be sunk level with the floor, so as not to create a tripping hazard. Occasional mats (e.g. runners used in bad weather) should be level with the floor surface and/or have a gently beveled edge, so as not to create a tripping hazard.
10. Where manually-activated power door operators are provided they shall:
  - be clearly visible;
  - be located to allow a person using a wheelchair or scooter to stop immediately adjacent to the control and in a location that is logical and does not require the user to go around the door or an obstacle after activated;
  - be located at least 600 mm (23-5/8 in) from any inside corner;
  - be located on the latch side of the door;
  - where the door opens towards the user, have the controls be located between 600 - 1525 mm (23-5/8 - 60 in) beyond the door swing;
  - incorporate controls that are:
    - min 150 mm (5-7/8 in) in diameter, located with its centre 1000 - 1100 mm (39-3/8 - 43-1/4 in) above the finished floor; OR
    - configured as a vertical bar that is at least 50 mm (2 in) wide, which can be actuated between 200 - 900 mm (7-7/8 - 35-1/2 in) above the finished floor;
  - incorporate the International Symbol of Access for Persons with Disabilities;
  - where pressure-sensitive mats, overhead beams or proximity sensors are used to detect traffic, incorporate systems that will detect individuals using wheelchairs or scooters; and
  - where exterior doors swing open into a pedestrian area, incorporate safety guards projecting a min of 300 mm (11-3/4 in) beyond both sides of the open door.
11. Where doors are not equipped with a closing device, the edge of door shall be colour contrasted to the face of the door.
12. Doors and/or door frames shall incorporate pronounced colour contrast, to differentiate them from the surrounding environment. Door handles and other operating mechanisms shall incorporate pronounced colour contrast to differentiate them from the door itself.
13. Fully-glassed doors and windows shall be marked with a continuous opaque strip that:
  - is colour and brightness contrasted to the background of the door;
  - is at least 50 mm (2 in) wide;
  - is located across the width of the door at a height of 1350 - 1500 mm (53-1/8 - 59 in) above the finished floor; and
  - may include a logo or symbol provided it does not diminish:
    - the width of the strip;
    - the colour and brightness contrast of the strip to the background of the door; and
    - the continuity of the strip across the width of the door.

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 - Electrical Systems  
 - Foundation Drainage Layer  
 - Veneer Styles/Accessories  
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 - Railing Styles/Accessories  
 \*In addition to Interior Design items such as Finishes, Colors and Stylistic Fresh Materials.

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#	By	Date of Rev.	Description of Revision
8	DTA	APR 24-20	Updated Plans per Client Comments
7	JDA	Feb 06-20	Updated Plans per Client Comments
6	DTA	June 20-19	Updated Plans per Client Comments
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-	DTA	JAN 16-19	Issued Preliminary Concepts to Township for Discussion

**REVISIONS & RELEASES**

ARCHITECT SEAL - As Required

**ACCESS & CIRCULATION**

PROJECT: **Municipal Garage Facility**  
Township of South Glengarry

Floor Space: **11,216** sq.ft.

Architect: **GEOFF HODGINS ARCHITECT**  
1 Sherbrooke St. E. Perth ON K7H 1A1  
613-261-2954 ghdodgins.ph@gmail.com

Lead Design Firm: **Annable Designs ARCHITECTURE-CONSULTING-PLANNING**

Brockville Offices: 613 - 926 - 5350  
Unit 7 - 2211 Parkedale Ave  
Brockville, Ontario info@annabledesigns.ca  
www.annabledesigns.ca

PROJECT ID NUMBER: **1151**

SHEET NUMBER: **A4.2**

Lead Design Consultant: **PRELIMINARY**

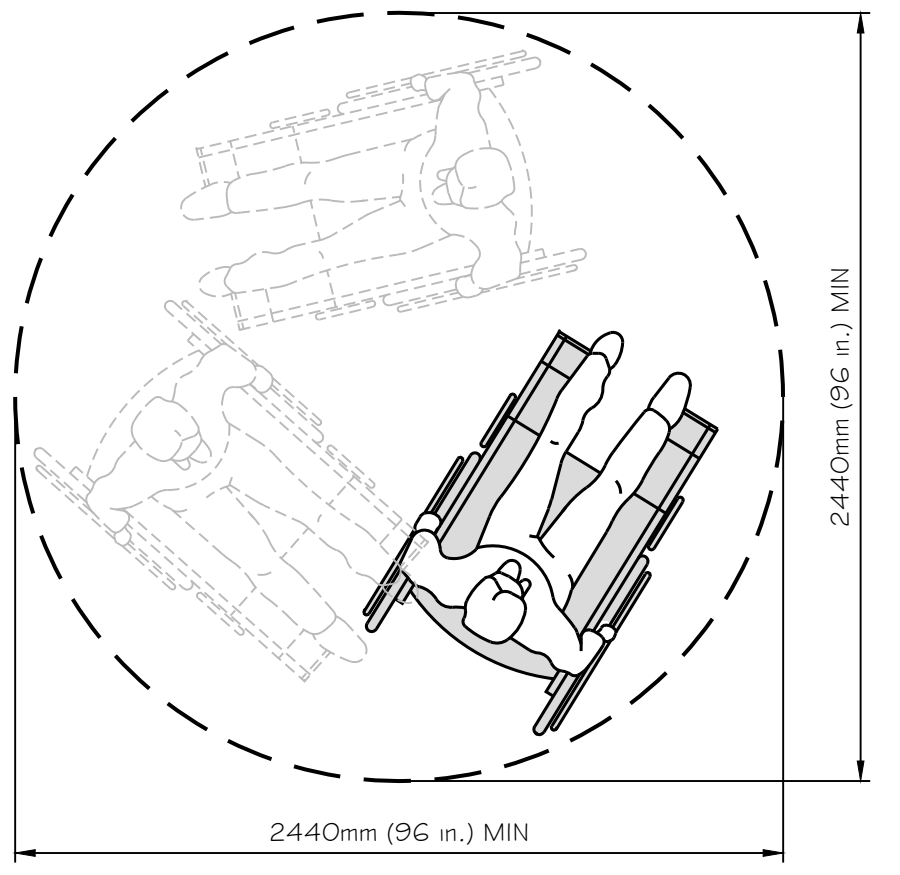
COMPLETION DATE: Feb 2020

COMPUTER NO: 1151-ARCH.DWG

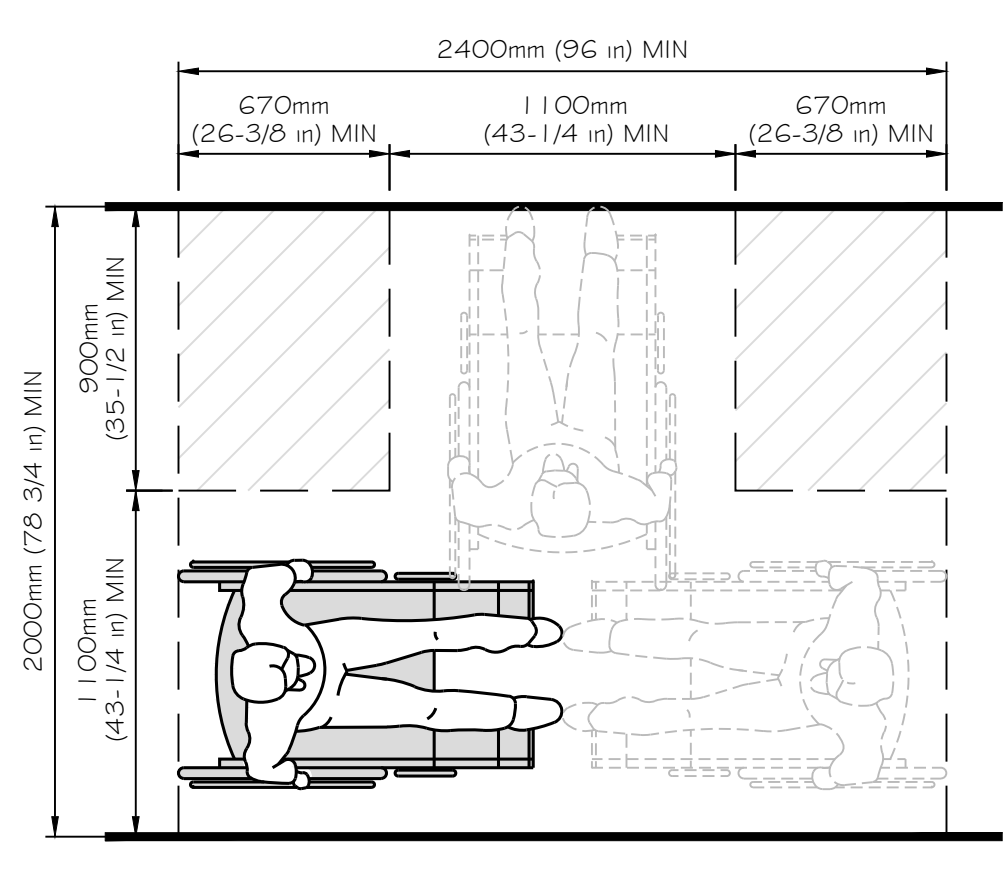
By: J. D. Annable

SCALE: 1/2" = 1'-0"

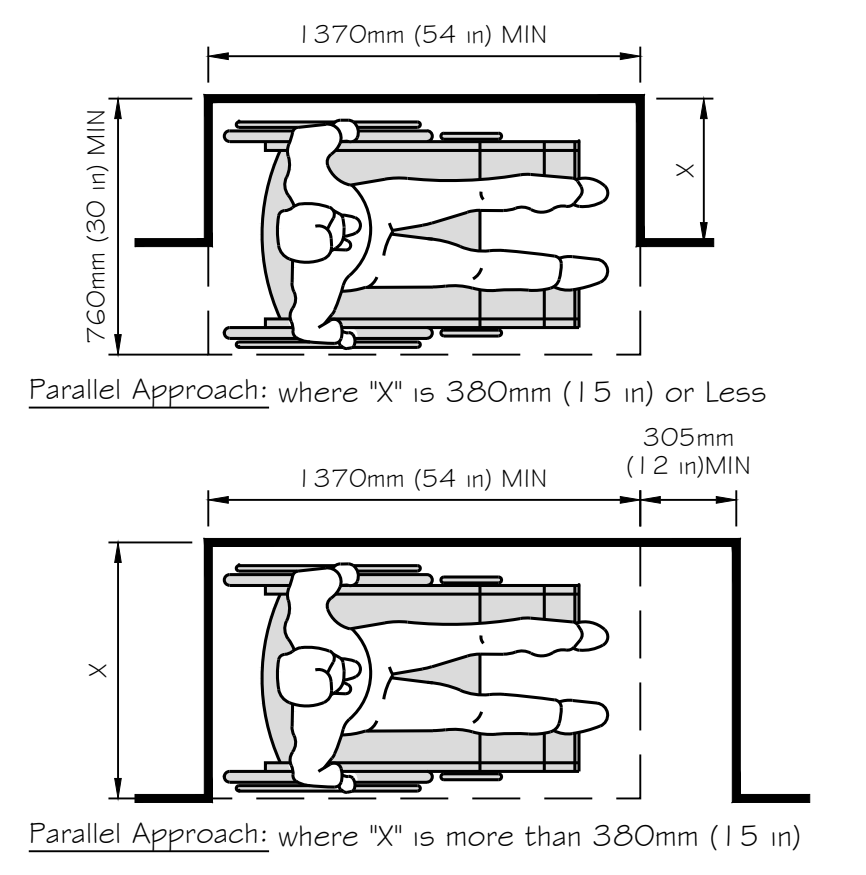
**Rev. 08**



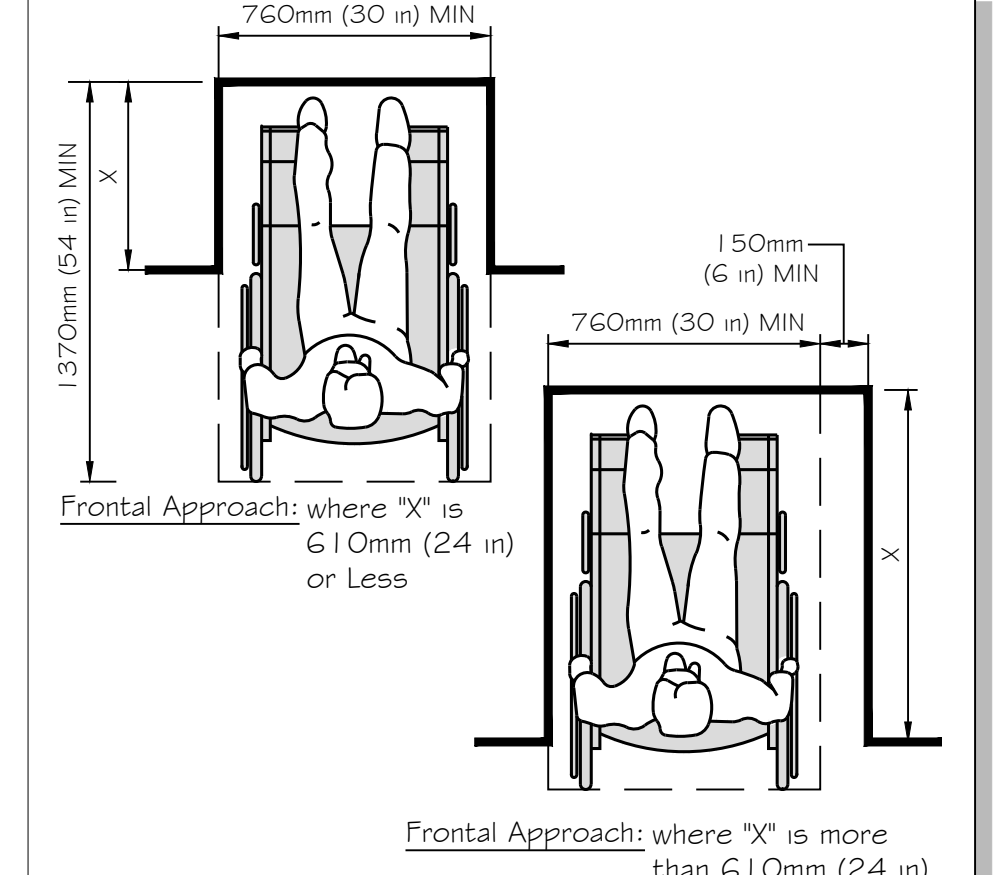
**A.C.01 - 360° Turning Space**  
NOT TO SCALE



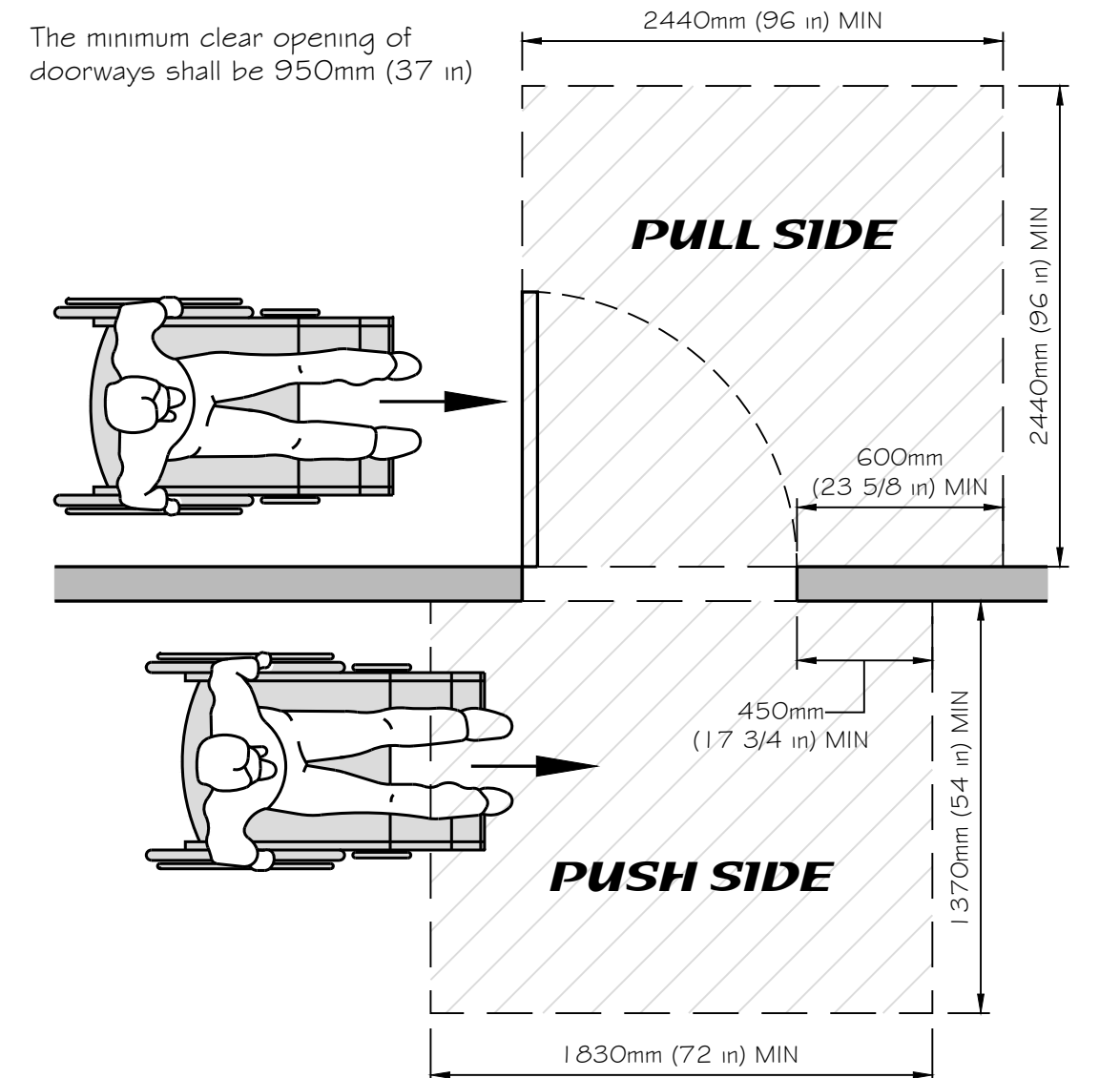
**A.C.02 - 180° Turning Space**  
NOT TO SCALE



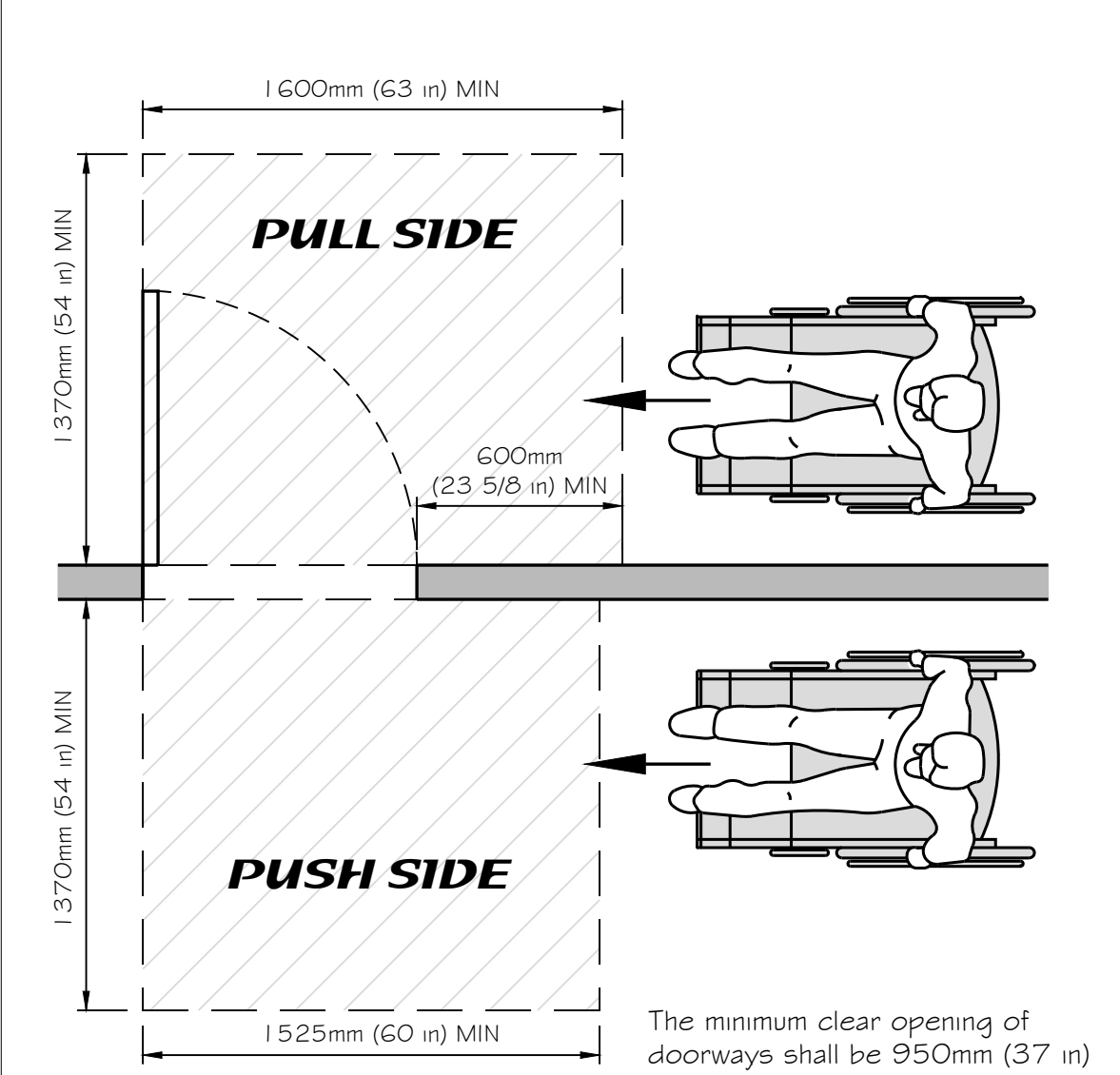
**A.C.03a - Clearances at Alcove**  
NOT TO SCALE



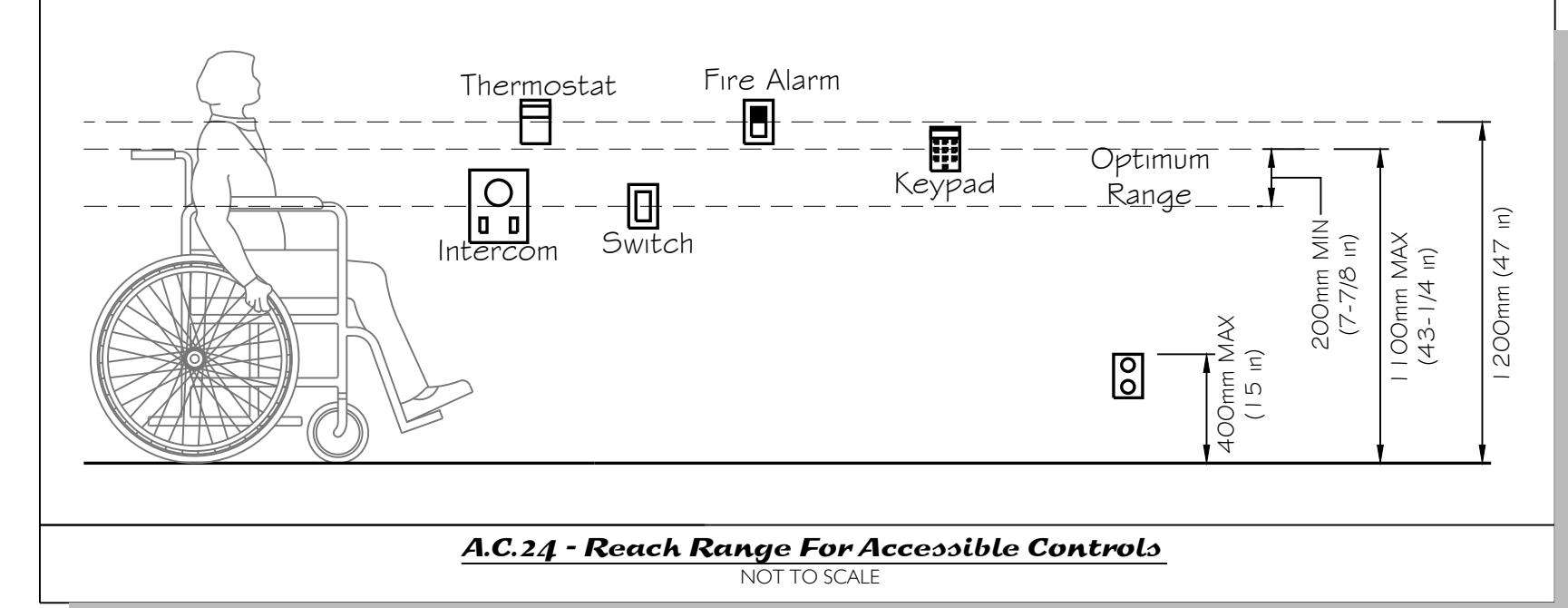
**A.C.03b - Clearances at Alcove**  
NOT TO SCALE



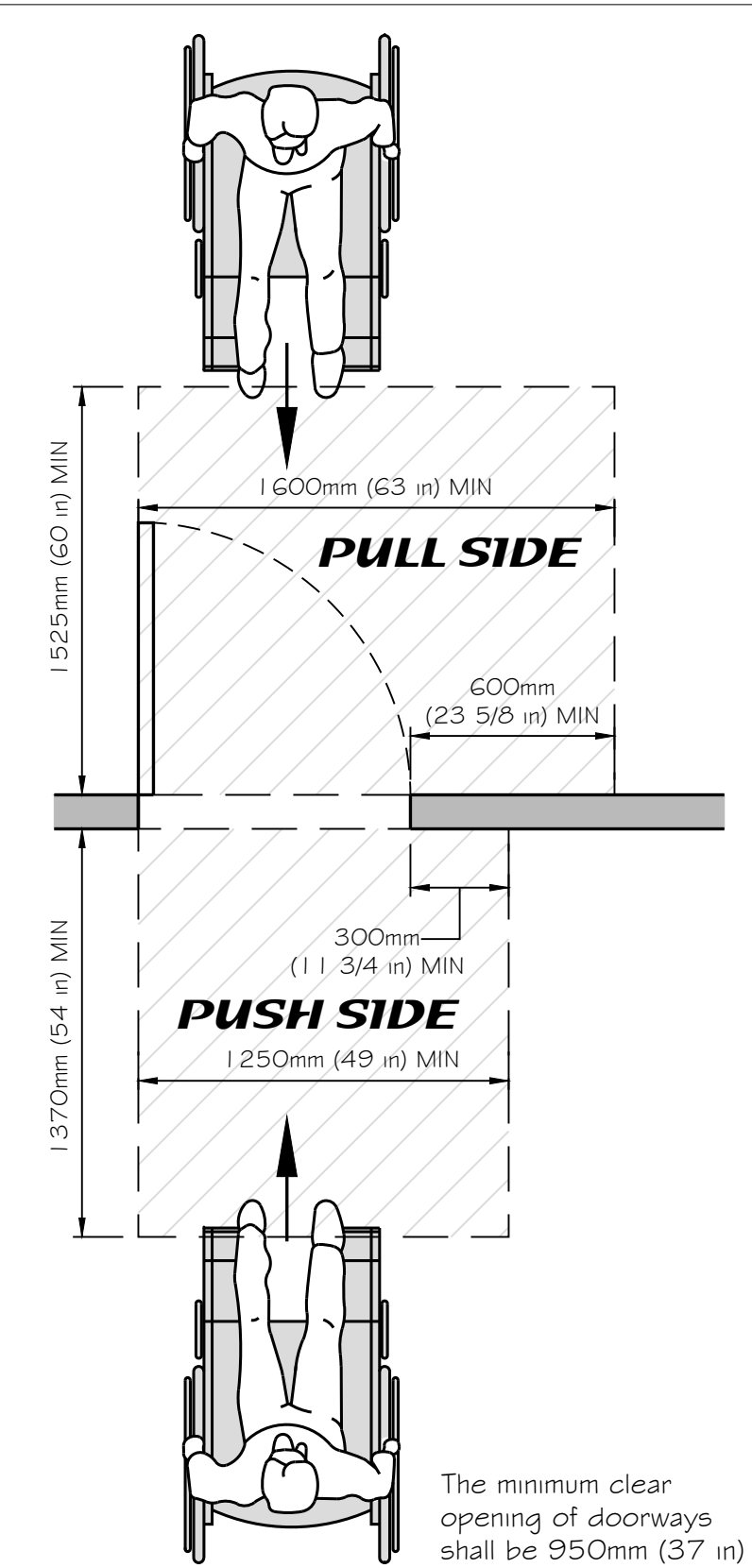
**A.C.04a - Hinge Side Approach at Hinged Doors**  
NOT TO SCALE



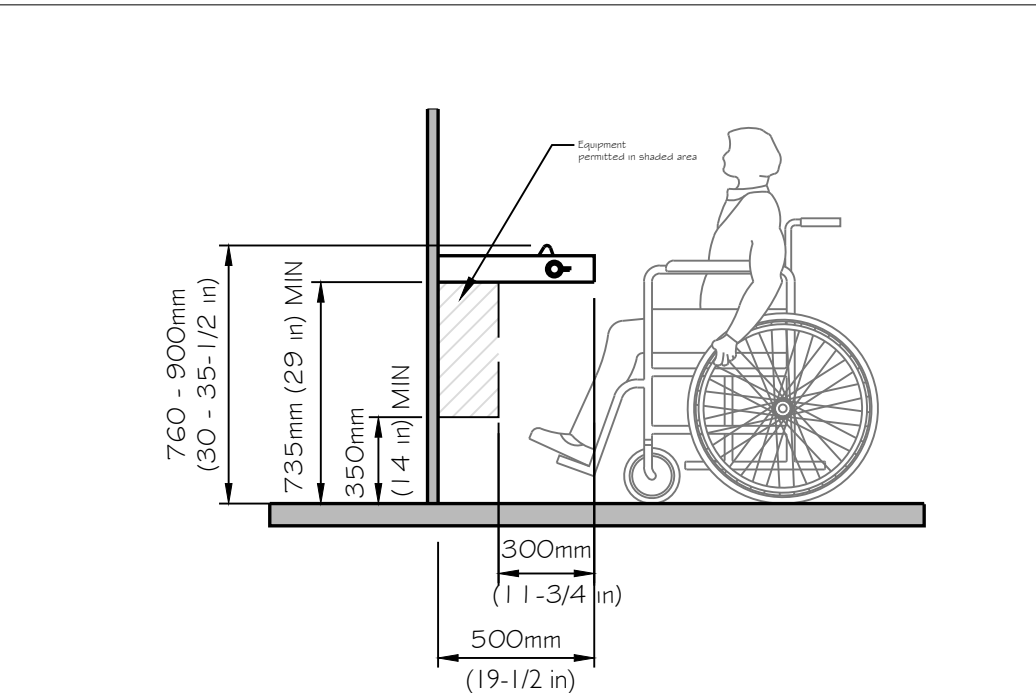
**A.C.04b - Latch Side Approach at Hinged Doors**  
NOT TO SCALE



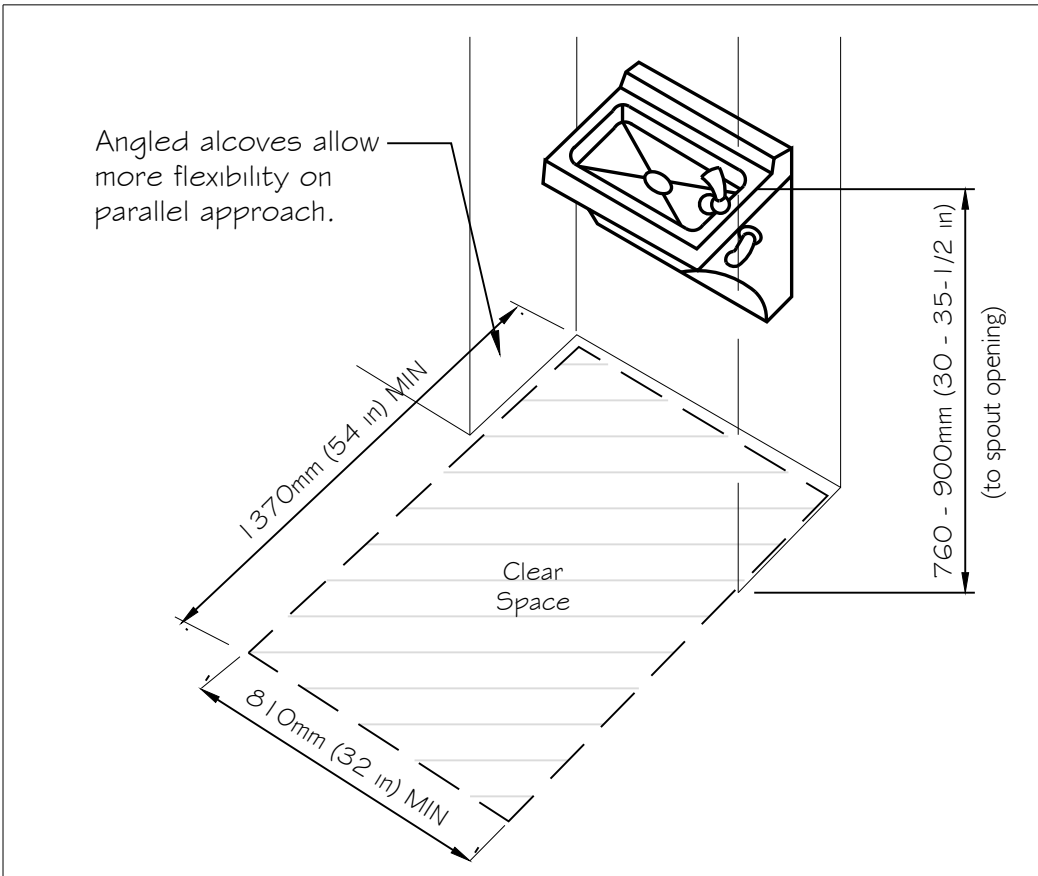
**A.C.24 - Reach Range For Accessible Controls**  
NOT TO SCALE



**A.C.04c - Latch Side Approach at Hinged Doors**  
NOT TO SCALE



**A.C.21a - Clearances**  
NOT TO SCALE



**A.C.21c - Forward Approach**  
NOT TO SCALE

OBC/2012 3.8.3.3(10) states unless equipped with a power door opener, a door in a BARRIER FREE path of travel shall have a clear space on the Latch Side extending the height of the doorway and be not less than:  
a) 23-7/8" (600mm) beyond the edge of the door opening if the door swings TOWARDS from the approach side;  
b) 11-3/4" (300mm) beyond the edge of the door opening if the door swings AWAY from the approach side.

- ACCESSIBLE CONTROL, Notes:**
1. A clear, level floor area at least 760 x 1370 mm (30 x 54 in) shall be provided at controls and operating mechanisms, such as elevators and escalators.
  2. Faucets and other controls shall be hand-operated or electronically controlled.
  3. Hand-operated controls and mechanisms shall be operable with a closed fist, without tight grasping, pinching, or twisting of the wrist, and with a force of no more than 22 N (4.9 lb.)
  4. Controls and operating mechanisms shall be capable of being illuminated to at least a level of 100 lux (9.2 footcandles).
  5. Controls and operating mechanisms shall incorporate a pronounced colour contrast, to differentiate them from the surrounding environment.

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**REVISIONS & RELEASES**

**ARCHITECT SEAL - As Required**

**ACCESS & CIRCULATION**

PROJECT: **Municipal Garage Facility**  
Township of South Glengarry

Floor Space: 11,216 sq.ft.

Architect: **GEOFF HODGINS ARCHITECT**  
1 Sherbrooke St. E. Perth ON K7H 1A1  
613-267-2554 ghd@gha.on.ca

Lead Design Firm: **Annable Designs ARCHITECTURE-CONSULTING-PLANNING**

Brockville Offices: Unit 7 - 2211 Parkedale Ave Brockville, Ontario  
613-926-5350 info@annabledesigns.ca www.annabledesigns.ca

PROJECT ID NUMBER: **1151**

SHEET NUMBER: **A4.3**

Lead Design Consultant: **DAVID T. ANNABLE**

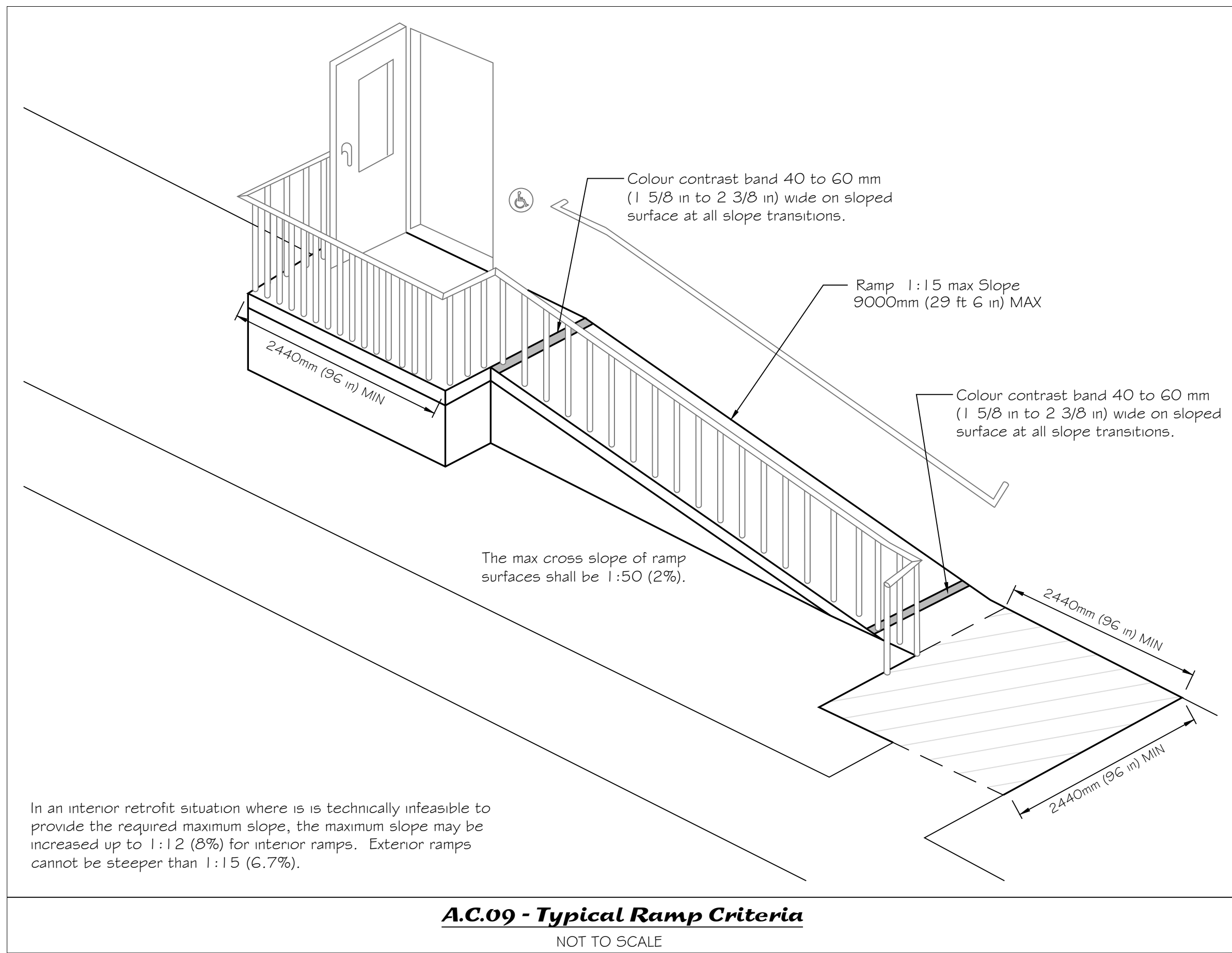
COMPLETION DATE: Feb 2020

COMPUTER NO: 1151-ARCH.DWG

By: J. D. Annable

SCALE: 1/2" = 1'-0"

**Rev. 08**



**A.C.09 - Typical Ramp Criteria**  
NOT TO SCALE

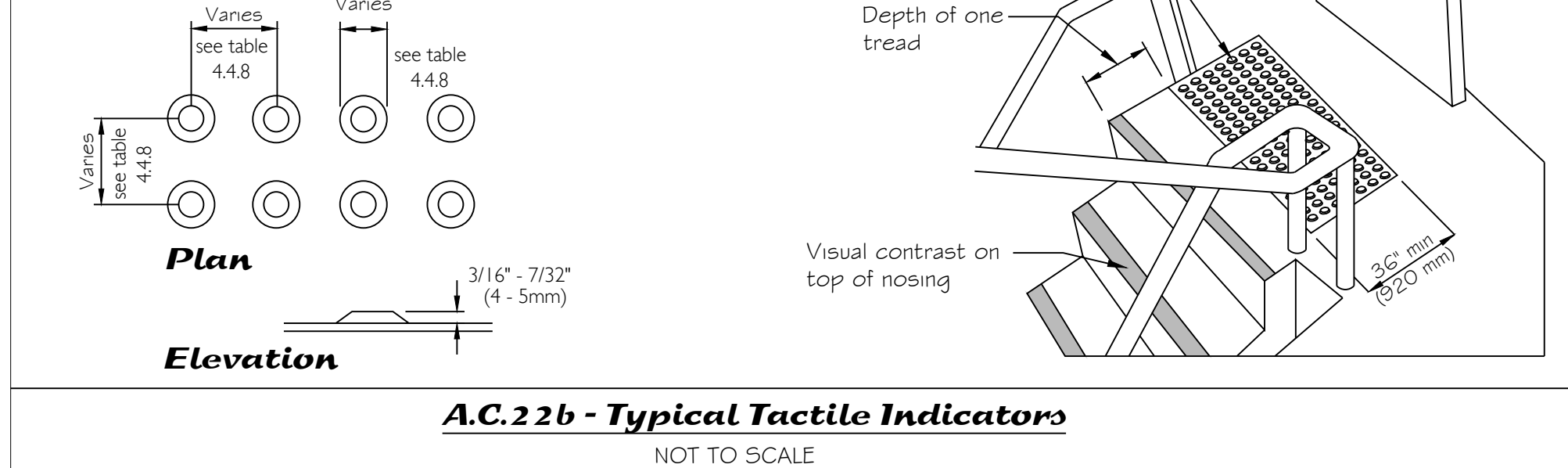
TACTILE INDICATORS NOTES

- All textured surfaces used as detectable warning surfaces shall be clearly detectable by walking upon as being different from the surrounding surface (Refer also to 4.4.15). Note: Applying a paint finish to a concrete surface does not provide appropriate detectability.
- Detectable warning surfaces shall contrast visually with adjoining surfaces, being either light on dark or dark on light.
- Detectable warning surfaces shall be slip-resistant.
- Detectable warning surfaces at all stairs shall:
  - be provided at the top of the stairs and at landings with entry points; and
  - extend the full width of the stair for a depth of at least 36" (920mm) commencing one tread depth back from the stair. Refer also to section 4.1.1.1.
- At interior stairs, it is acceptable to provide detectable warning surfaces not more than 1/8" (3mm) above or below adjacent surfaces, however flat-topped domes or cones are preferable.
- Detectable warning surfaces at curb ramps, depressed curbs, exit stairs, exterior stairs and elevated platforms shall be composed of flat-topped domes or cones that:
  - are 1 1/8" - 2 1/8" (4 - 5mm) high;
  - have top and bottom dimensions shown in Table 4.4.8; and
  - area arranged in a regular pattern with spacing as shown in Table 4.4.8.
- If a walkway crosses or joins a vehicular way and the walking surfaces are not separated by curbs, railings or other elements between the pedestrian areas and vehicular areas, the boundary between the areas shall be defined by a continuous detectable warning surface, flat-topped domes or cones which is minimum 36" (920mm) wide. Refer also to section 4.1.1.0.

Top diameter of flat-topped domes or cones	Spaces
1 1/2" (12 mm)	1-3/4" - 2-3/8" (42 - 61 mm)
5/8" (15 mm)	1-7/8" - 2-1/2" (45 - 63 mm)
3/4" (18 mm)	1-15/16" - 2-5/8" (48 - 65 mm)
7/8" (20 mm)	2" - 2-3/4" (50 - 68 mm)
1" (25 mm)	2-1/4" - 2-7/8" (55 - 70 mm)

Bottom diameter of flat-topped domes or cones 10 ± 1mm greater than the top diameter.

**Table 4.4.8**

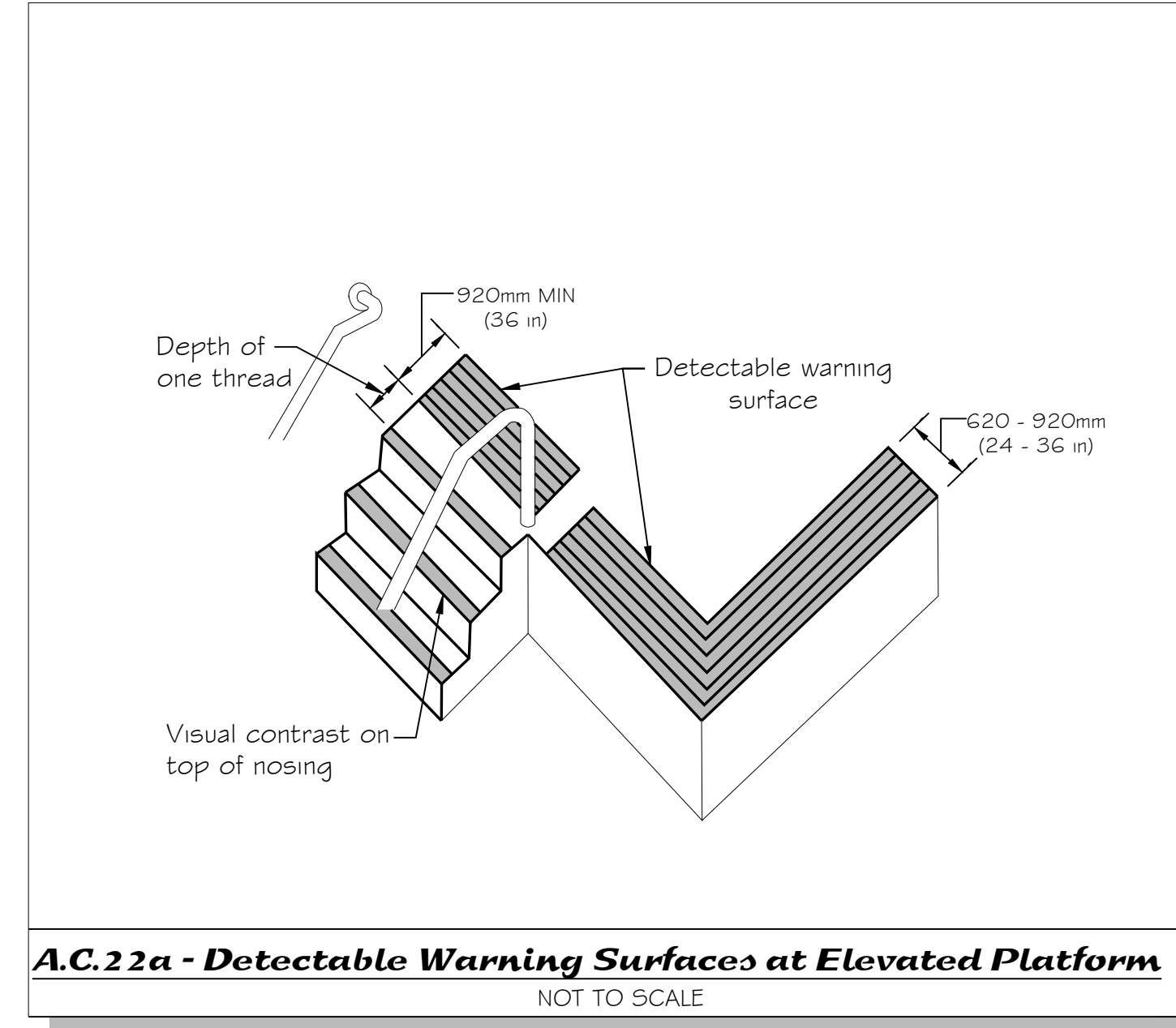


**A.C.22b - Typical Tactile Indicators**  
NOT TO SCALE

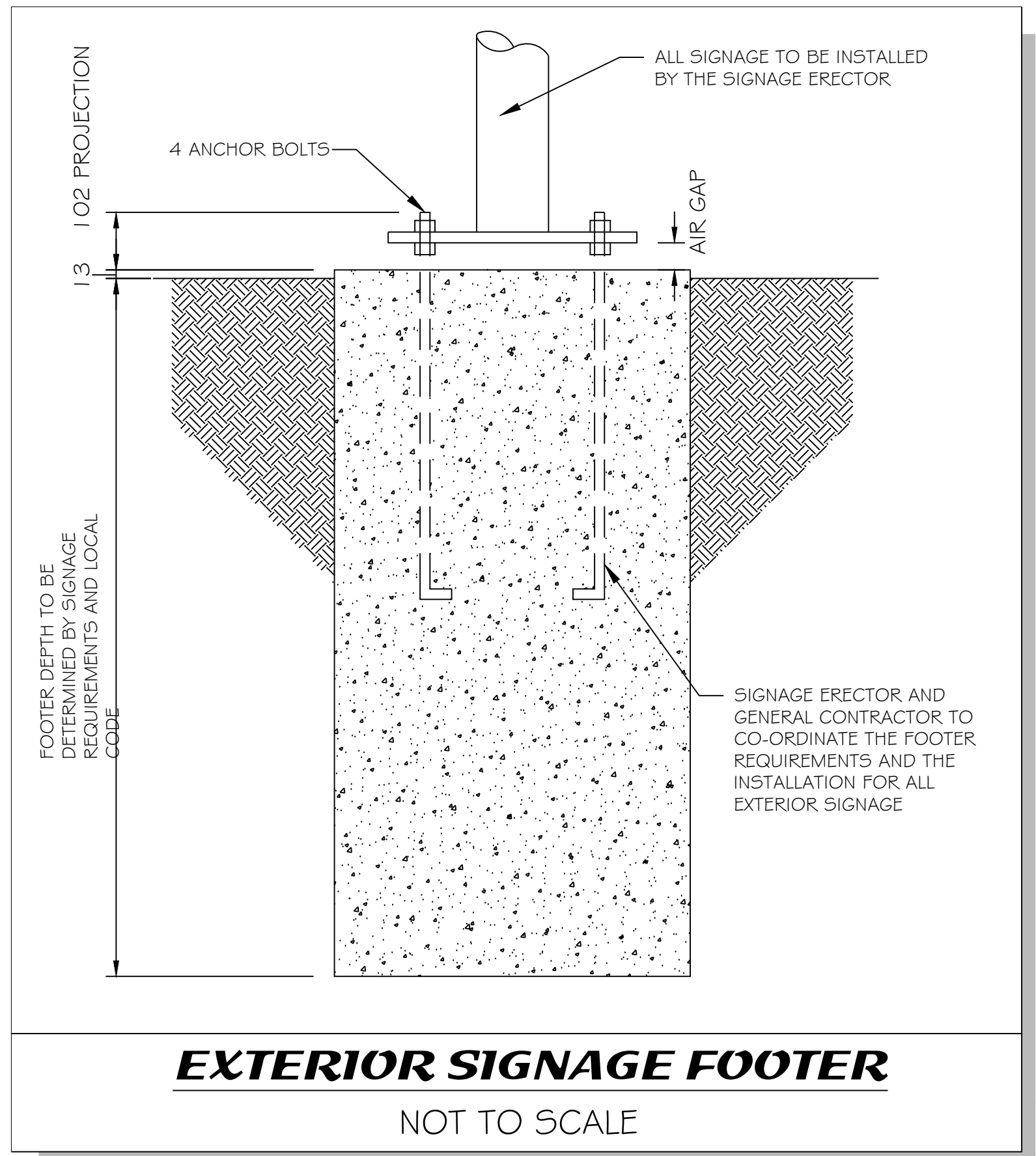
ARCHITECT SEAL - As Required

**HANDRAIL, Notes:**

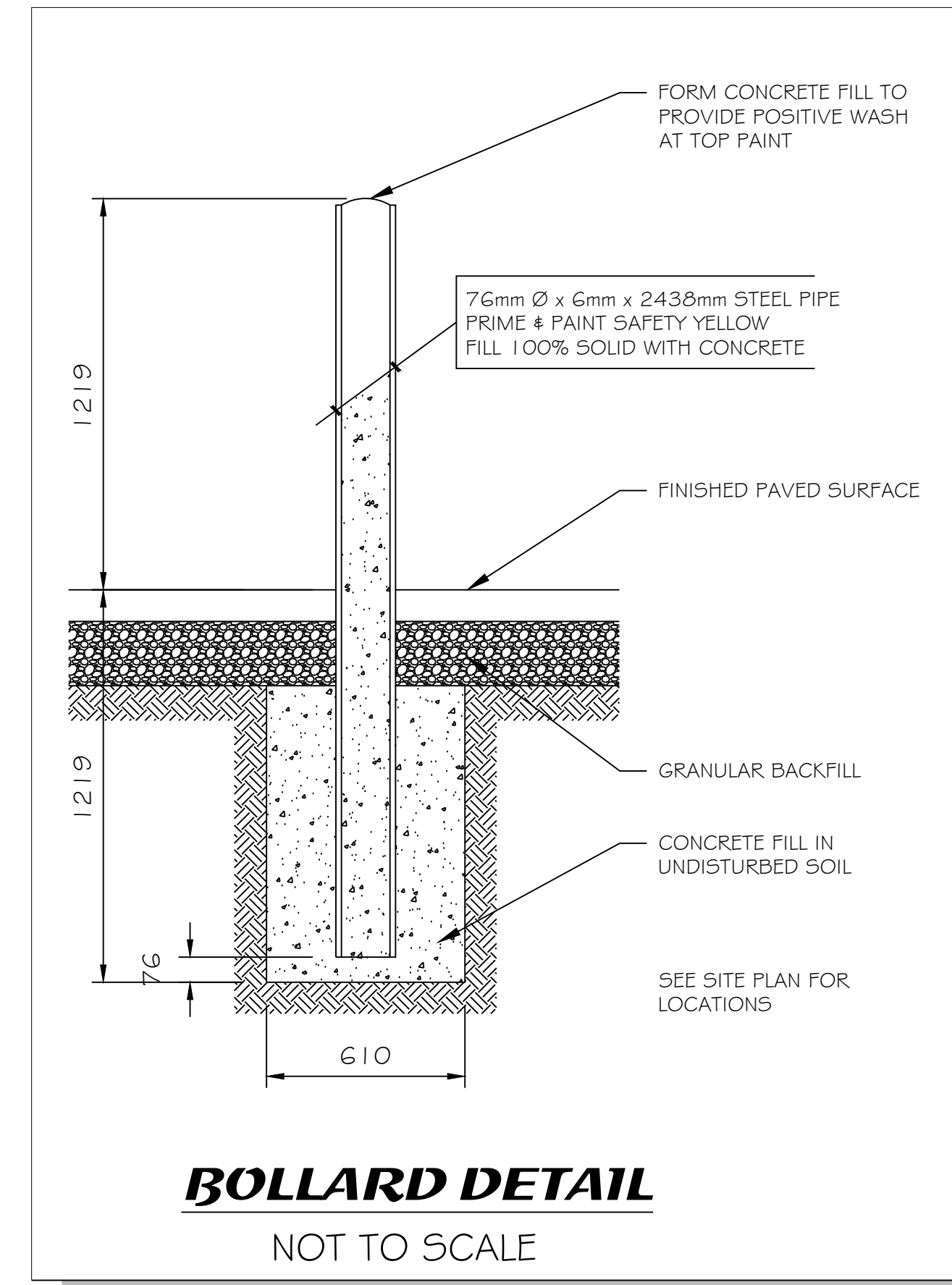
- Handrails shall:
  - be mounted 865 - 920 mm (34 - 36 in) high;
  - have a circular section 50 - 40 mm (1-3/16 - 1-9/16 in) in diameter or any non-circular shape, with a graspable portion that has a perimeter 100 - 125 mm (4 - 5 in) whose cross-sectional dimension is not more than 45 mm (1-3/4 in);
  - be free of any sharp or abrasive elements;
  - have continuous gripping surfaces, without interruption by newel posts, other construction elements, or obstructions that can break a handhold;
  - extend parallel to the floor a min or 300 mm (1-1/4 in); and
  - terminate to a wall, floor, post, or other member that will not obstruct pedestrian travel or create a hazard.
- Handrails and their supports shall be designed and constructed to withstand the loading values obtained from the nonconcurring application of:
  - a concentrated load of not less than 0.9 kN (200 lb.) applied at any point and in any direction; and
  - a uniform load of not less than 0.7 kN (167 lb./ft.) applied in any direction to the handrail.
- Handrails shall incorporate a pronounced colour contrast, to differentiate them from the surrounding environment.



**A.C.22a - Detectable Warning Surfaces at Elevated Platform**  
NOT TO SCALE



**EXTERIOR SIGNAGE FOOTER**  
NOT TO SCALE

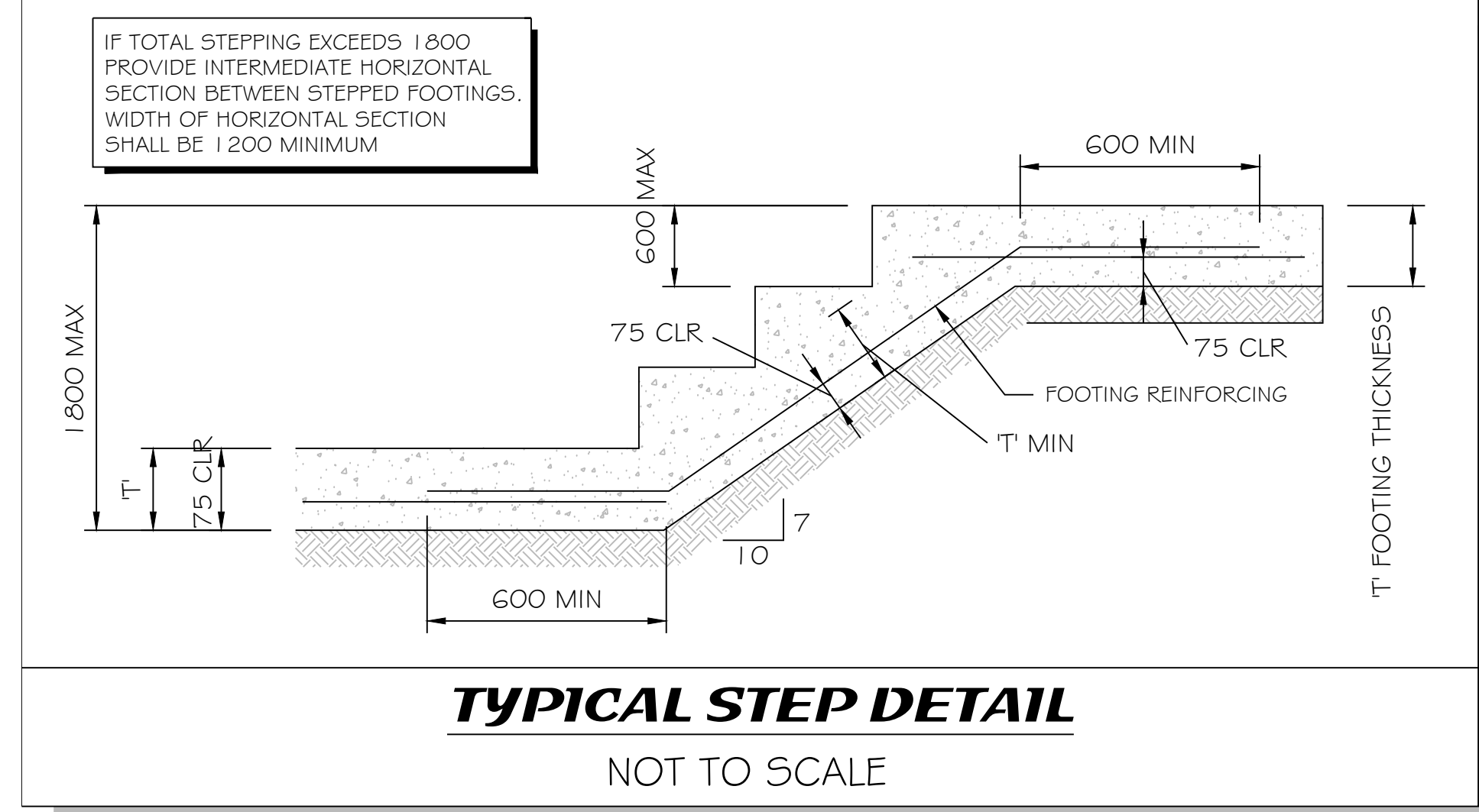


**BOLLARD DETAIL**  
NOT TO SCALE

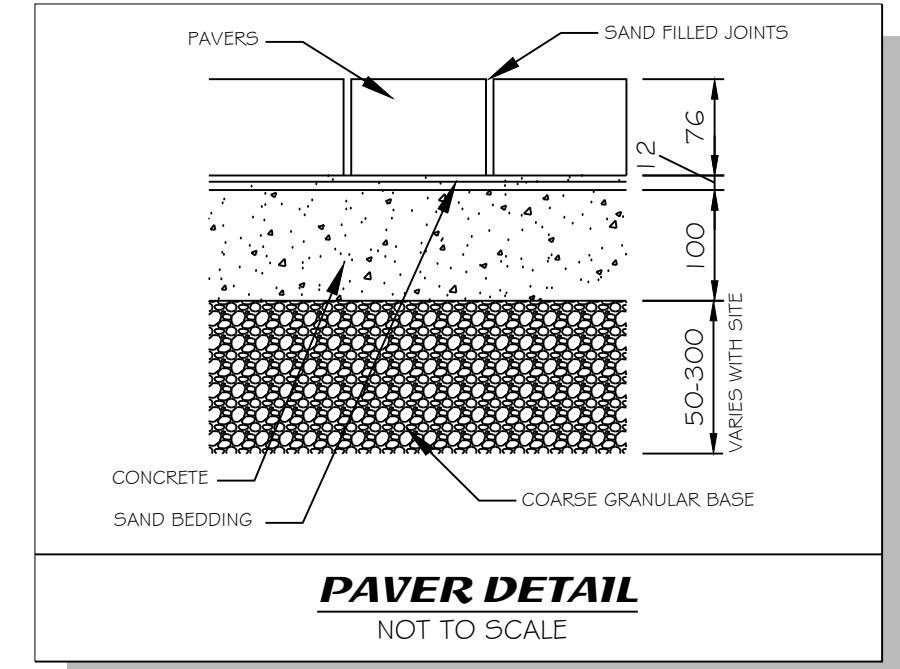
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**TYPICAL STEP DETAIL**  
NOT TO SCALE



**PAVER DETAIL**  
NOT TO SCALE

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**REVISIONS & RELEASES**

**SITE DETAILS & STANDARDS**

PROJECT: **Municipal Garage Facility**  
Township of South Glengarry

Architect: **GEOFF HODGINS ARCHITECT**  
1 Sherbrooke St. E. Perth ON K7H 1A1  
613-267-2954 ghd@annabledesigns.ca

Lead Design Firm: **Annable Designs ARCHITECTURE-CONSULTING-PLANNING**  
Brookville Offices: Unit 7 - 2211 Parkedale Ave Brookville, Ontario 613-926-5350 info@annabledesigns.ca www.annabledesigns.ca

PROJECT ID NUMBER	SHEET NUMBER
<b>1151</b>	<b>A4.4</b>

COMPLETION DATE: Feb 2020  
COMPUTER NO: 1151-ARCH.DWG  
BY: J. D. Annable  
SCALE: 1/2" = 1'-0"

Lead Design Consultant: **PRELIMINARY**  
ANNABLE DESIGNS  
DAVID T. ANNABLE - DESIGNER

COMPLETION DATE: Feb 2020  
COMPUTER NO: 1151-ARCH.DWG  
BY: J. D. Annable  
SCALE: 1/2" = 1'-0"

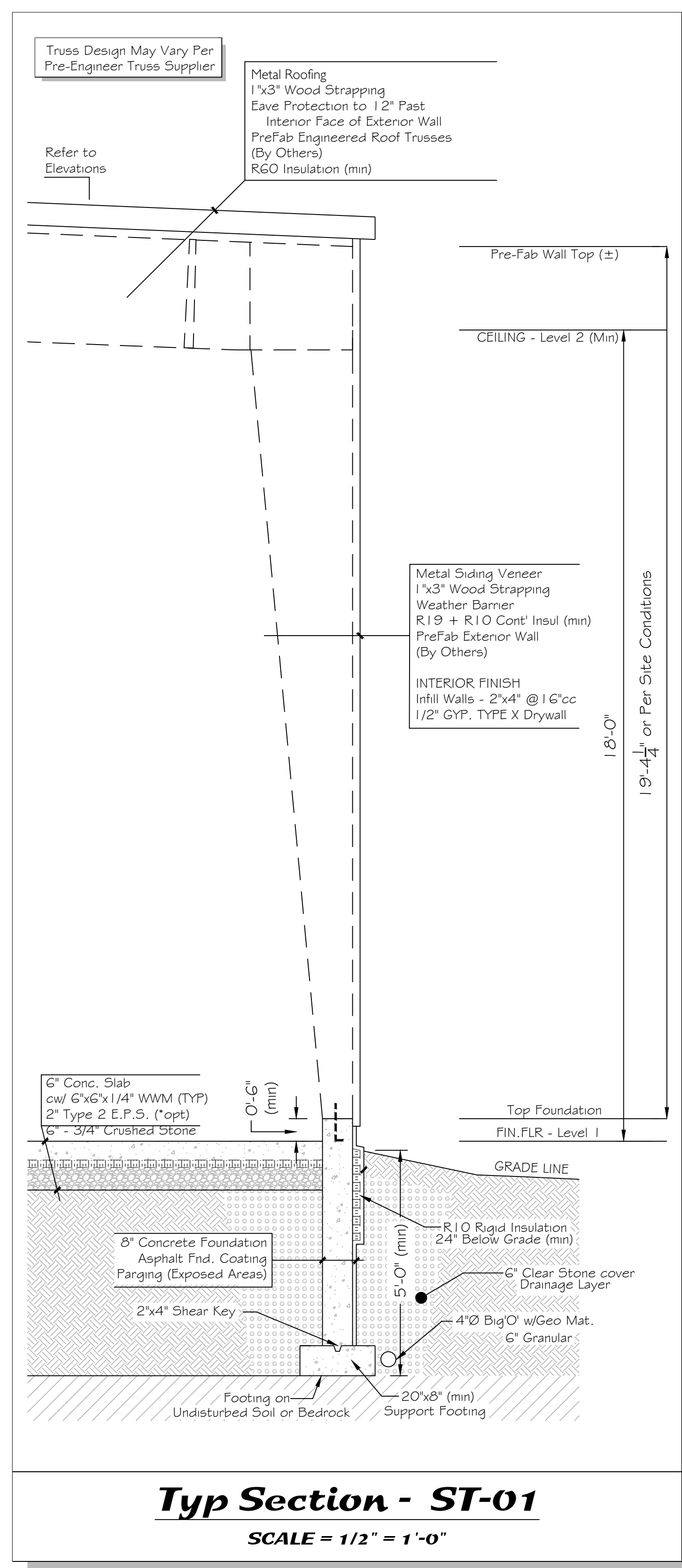
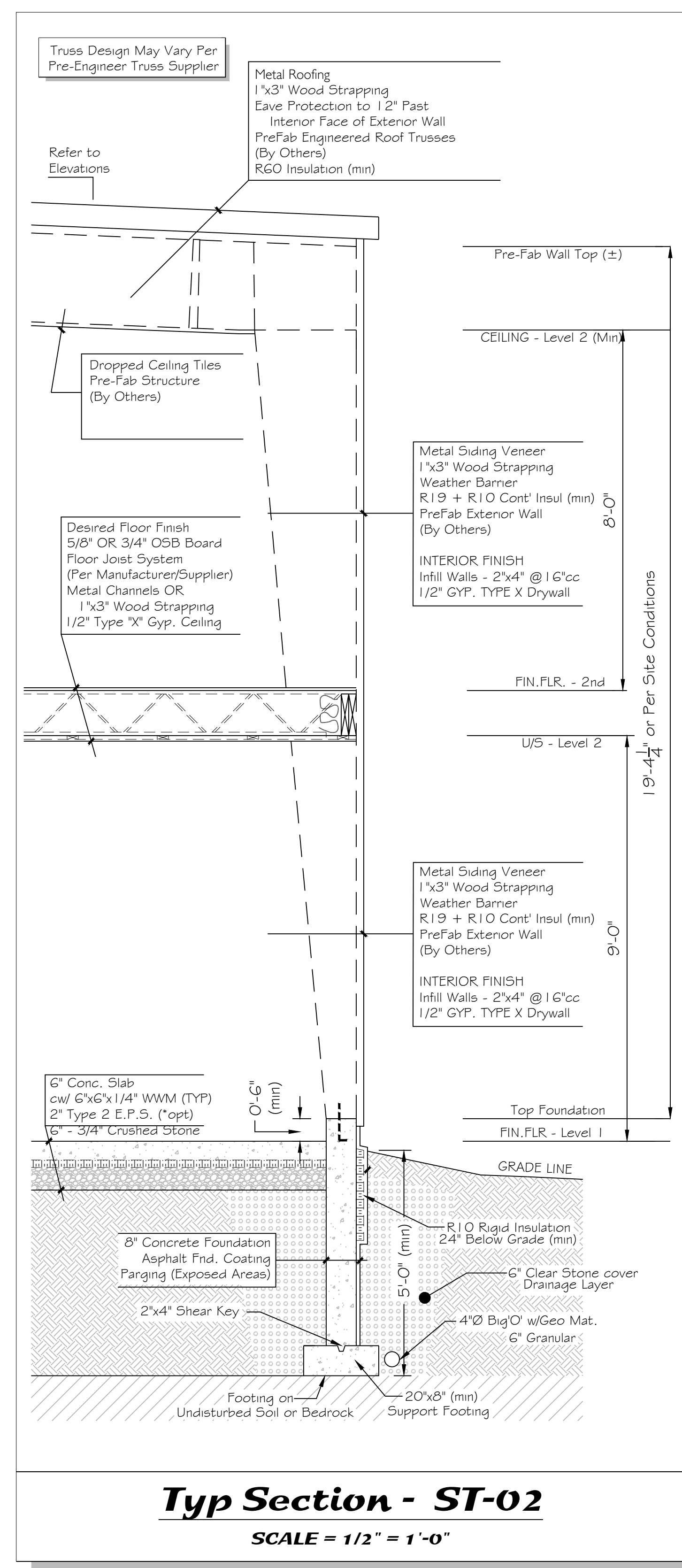
**Rev. 08**

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ENGINEER SEAL - As Required

ARCHITECT SEAL - As Required

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7	JDA	Feb 06-20	Updated Plans per Client Comments
6	DTA	June 20-19	Updated Plans per Client Comments
5	DTA	APR 29-19	<b>ISSUED FOR TENDER PHASE</b>
4	DTA	APR 26-19	Issued to Design Team for Final Seal
3	DTA	APR 16-19	Revised & Issued to Design Team for Final Review
2	DTA	MAR 14-19	Revised & Issued for Final Client Approval
1	DTA	JAN 31-19	Revised Proposal per Client Meeting / Comments
-	DTA	JAN 16-19	Issued Preliminary Concepts to Township for Discussion

**REVISIONS & RELEASES**

**TYPICAL CROSS SECTIONS**

PROJECT: **Municipal Garage Facility**  
Township of South Glengarry

Engineer: **IN Engineering**  
www.inengineering.ca (613) 803-9899 andrew@ineng.ca

Architect: **GEOFF HODGINS ARCHITECT**  
1 Sherbrooke St. E. Perth ON K7H 1A1  
613-267-2654 ghdgins.gsh@gmail.com

Lead Design Firm: **Annable Designs ARCHITECTURE-CONSULTING-PLANNING**  
Brockville Offices: Unit 7 - 2211 Parkedale Ave Brockville, Ontario 613-926-5350 info@annabledesigns.ca www.annabledesigns.ca

PROJECT ID NUMBER: **1151**

SHEET NUMBER: **A5.1**

Lead Design Consultant: **Annable Designs**

COMPLETION DATE: Feb 2020

COMPUTER NO: 1151-ARCH.DWG

BY: J. D. Annable

SCALE: 1/2" = 1'-0"

**Rev. 08**

**PLAN CERTIFICATION / VALIDATION**  
If the Signature on this plan is not in Original RED Ink then this plan is to be considered Preliminary or an Unauthorized Duplicate. Please Confirm with Annable Designs Co. Ltd before using Unapproved Plans for any purpose.



## INFORMATION REPORT



**REPORT TO:** Council of the Township of South Glengarry

**MEETING DATE:** May 19, 2020

**SUBJECT:** 2020 - Revenue Review - YTD as of April 30

**PREPARED BY:** L. McDonald, GM Corporate Services

The onset of COVID-19 and the subsequent change of citizen behaviour may impact our user fees detrimentally.

This report will quantify the trends as of April 30, 2020.

---

### Taxation – Residential, Farm, Commercial, and Industrial

- There is no impact as the Township has not changed our taxation by-law.

### Street Light Charges

- No impact, the Township has maintained our streetlight charges in 2020.

### Tile Drainage Loans

- No impact, tile drainage loans are transactional (in/out)
  - Province to Township, Township to Farm Property

### Water/Wastewater Charges (including dry hydrants)

- No impact as the rates the Township charges have not changed since Fall 2018
- Interest revenue may decrease but this will not be significant as arrears in water are low.

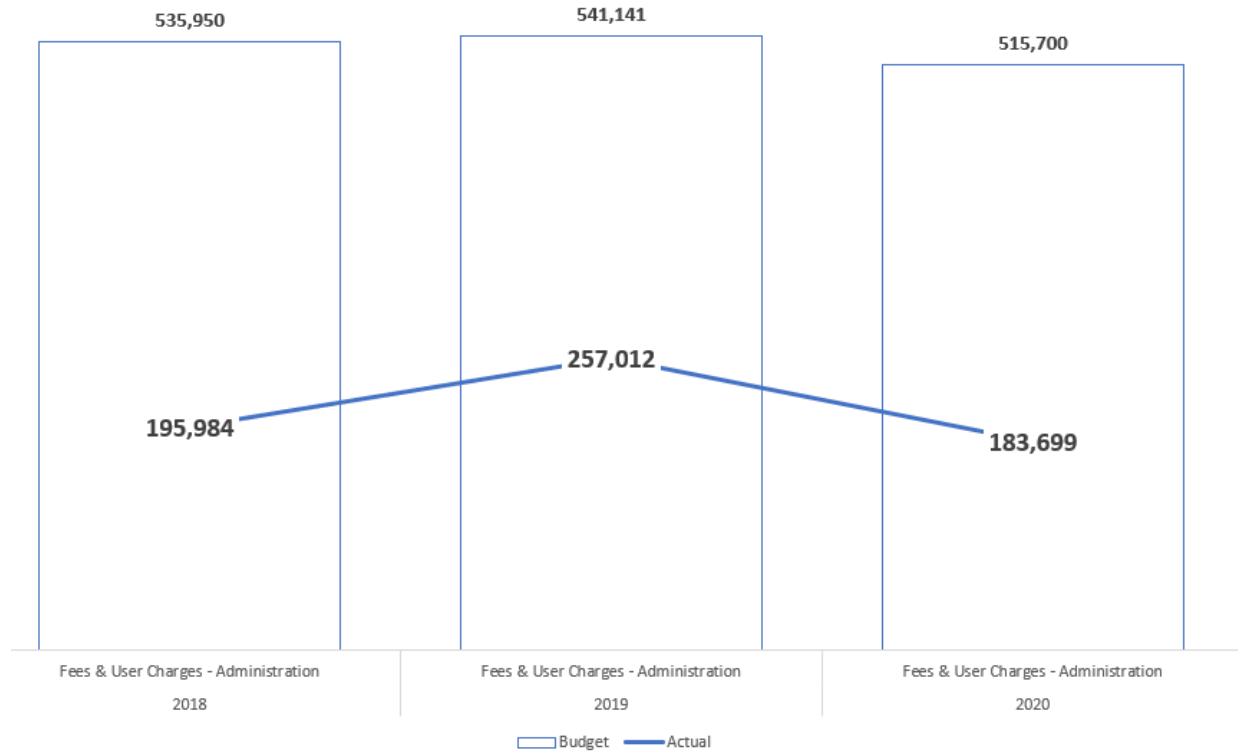
### Supplementary Taxation – Residential, Farm, Commercial, and Industrial

- Possible impact as there may be fewer in-year builds and renovations

### Administrative Fees

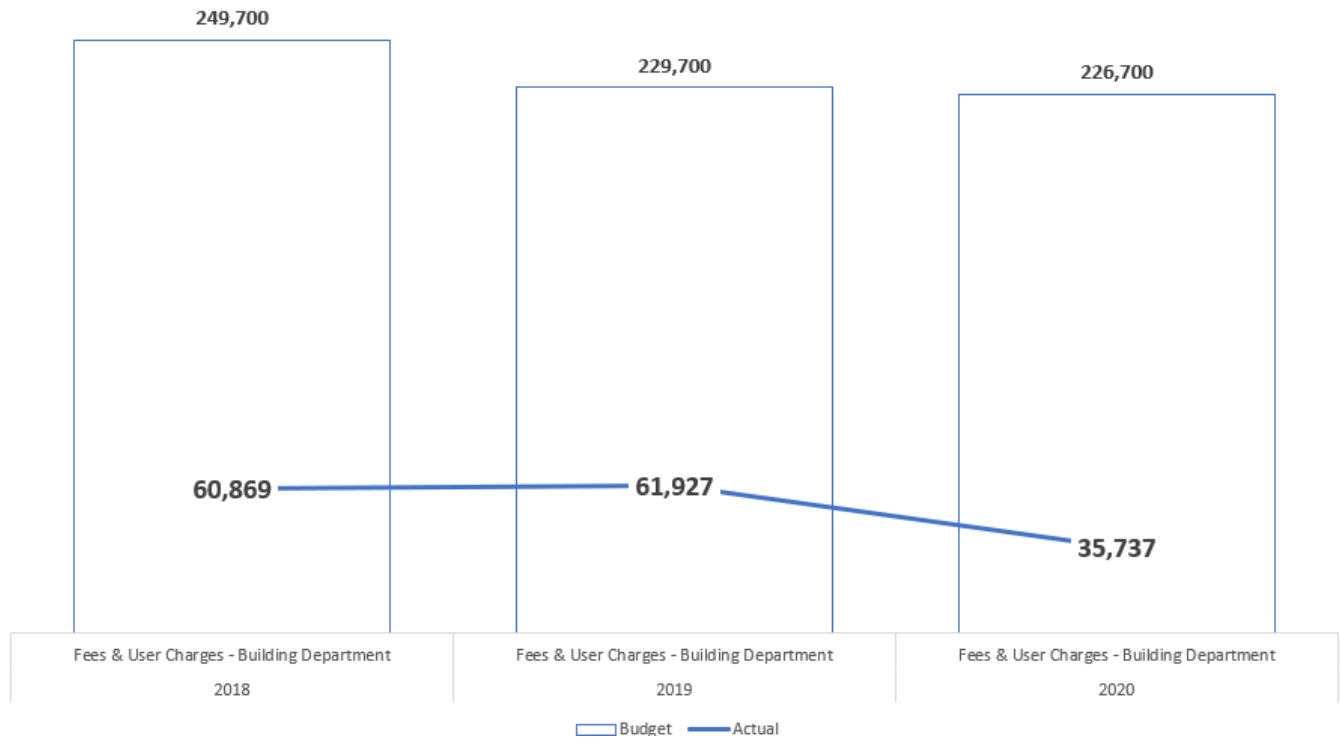
- Tax Certificate Fees trending down (\$700 to date – 25%-30%)
  - These fees are predominantly generated through real estate transactions
- Lottery Licencing Fees trending down (\$1,200 to date – 80%)
  - With social isolation there are no community gatherings
- Marriage Act Fees unchanged
  - The wedding industry has changed but the Township hasn't experienced a decline at this point.
- Township Leases remain unchanged
  - Although there have been requests for rent forgiveness, the Township has presently not provided it to anyone.

- Investment Interest Revenue is trending down (\$16,500 to date – 33%)
  - The Bank of Canada decreased interest rates in response to COVID-19
  - When pending capital projects occur (William Street and Summerstown Garage), money in the bank will decrease.
  - The Township typically budgets conservatively in this category and we are likely to stay near budget, but the buffer is diminished
- Tax and Interest Penalty trending down
  - The result will likely be \$10,000 +/- seasonal differences once we move into May



**Building Fees**

- Building Permit fees trending down (\$21,000 – 45%) and reflect the current environment. That being said activity is picking up.



**Property Standards Fees**

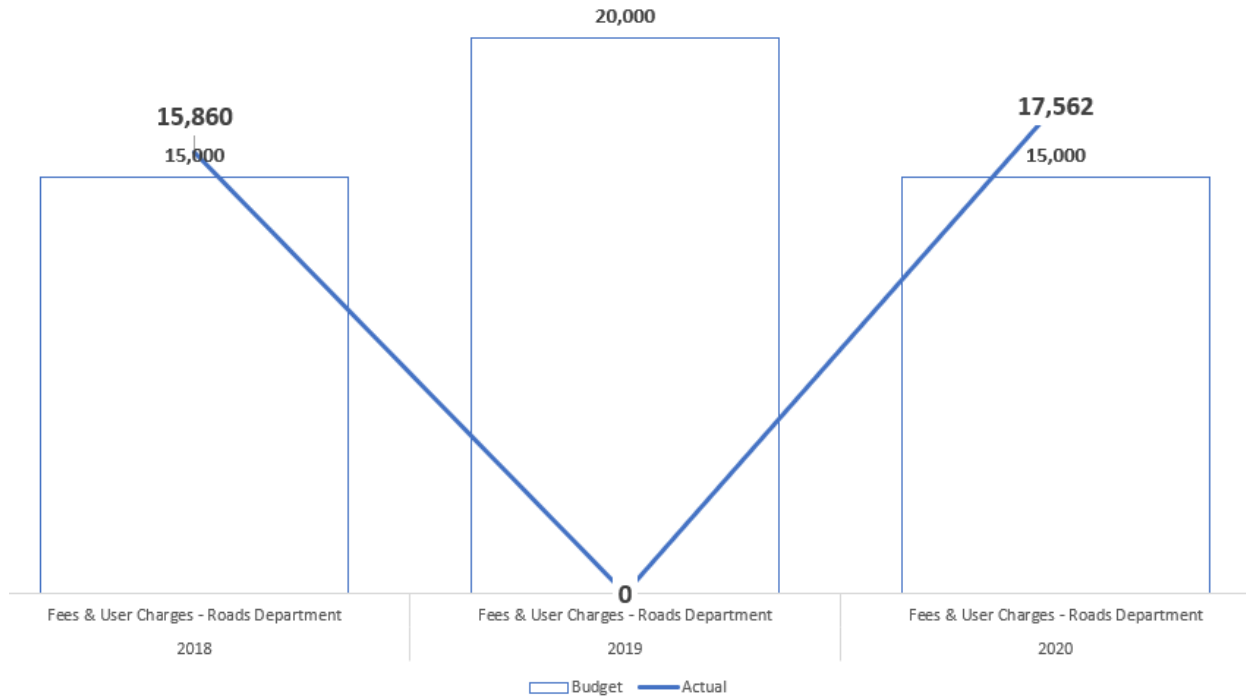
- All fees relatively unchanged but property standards revenue traditionally is a May and onward item

**Fire Department Fees**

- Miscellaneous fees trending down (\$1,000 – 50%)
  - Too small a number with large variability in timing, consider this a red herring

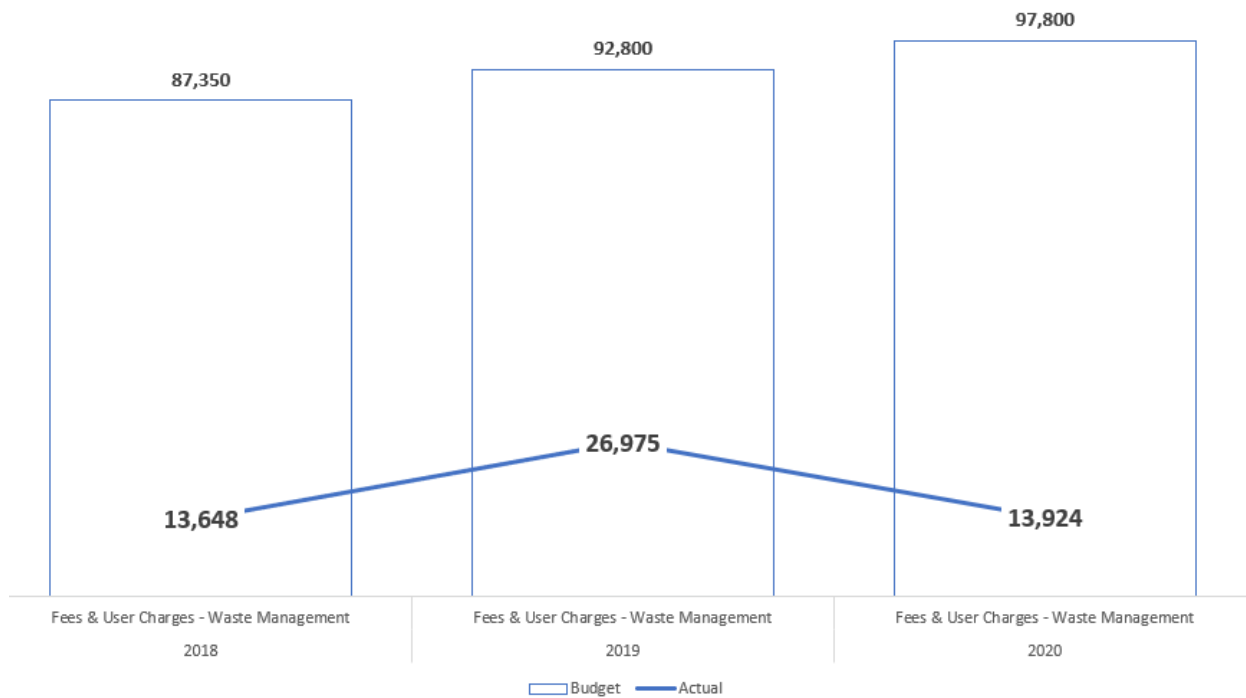
**Roads Department Fees**

- Miscellaneous fees trending up (\$17,500 – 100%)
  - This is likely a timing issue compared to 2019. 2020 is like 2018



### Waste Management

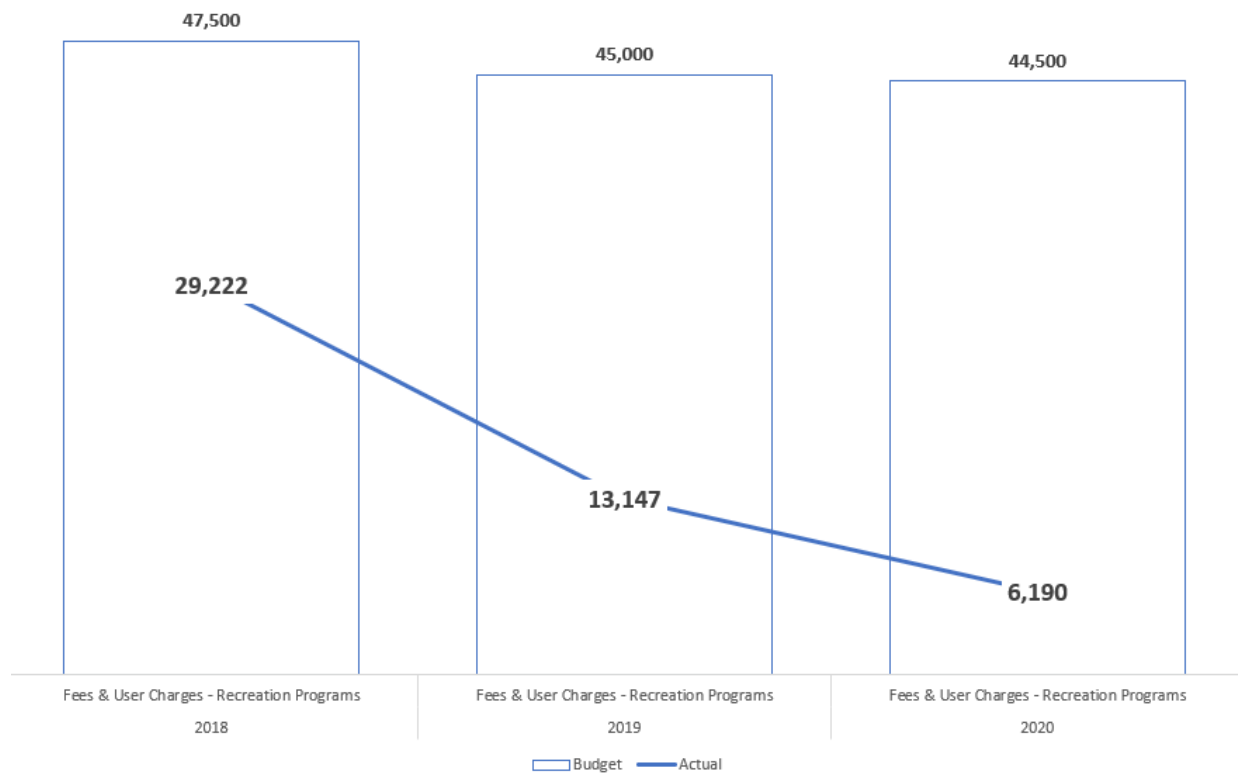
- Blue box sales are trending down (\$153 – 90%)
  - Natural as the office is not open
- Tipping fees are trending down (\$12,500 – 50%)
  - Could be a timing issue compared to 2019. 2020 is like 2018



### Recreation Program Fees

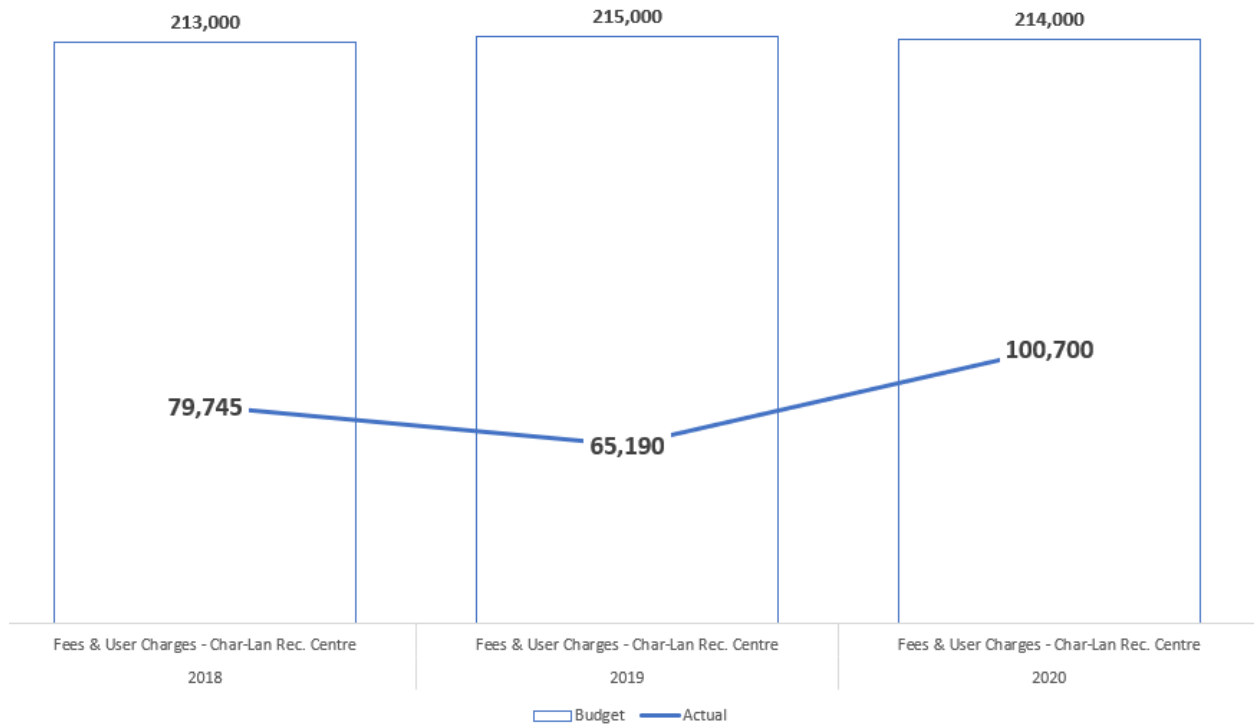
- All are trending lower (\$6,500 – 50%)

- Refunds will decrease revenues further as well as the cancellation of future events/programs



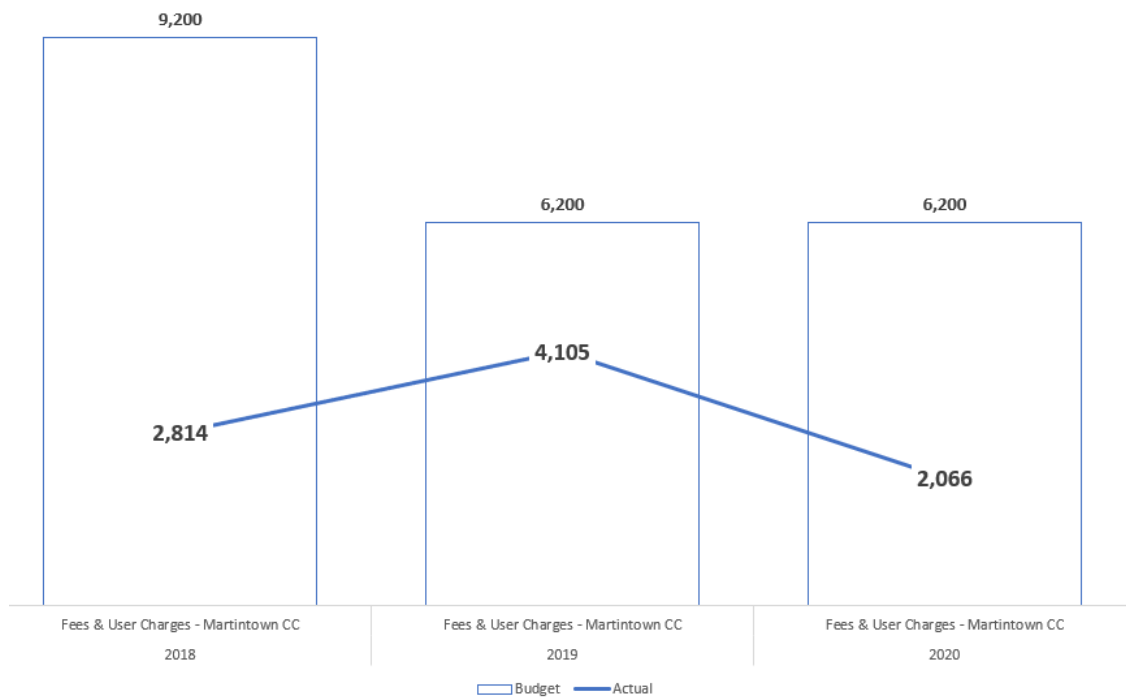
**Char-Lan Recreation Centre Fees**

- All appear relatively unchanged
  - Save for ice rental – increase of \$36,000 (year end entry timing)
- Revenues will likely continue to decrease due to hall closures and subsequent reservation cancellations.



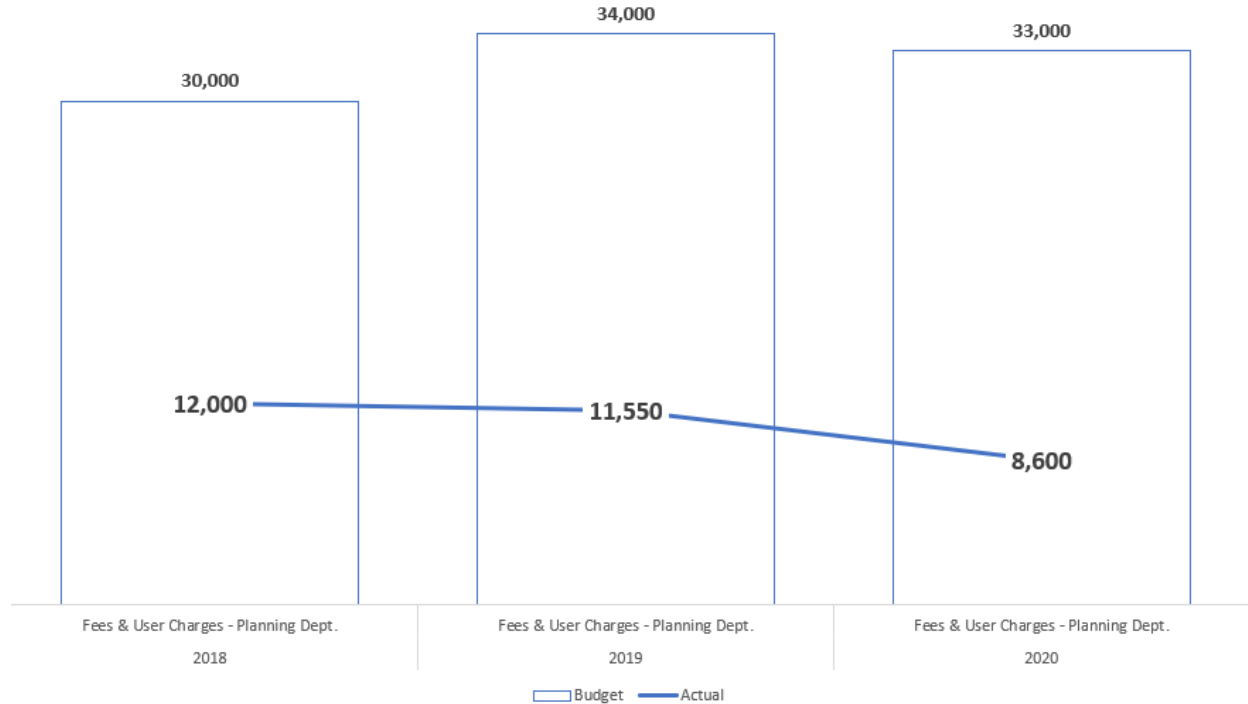
### Martintown Hall Rental Fees

- Rentals are trending down (\$2,000 – 50%)



### Planning Department Fees

- Fees are trending down (\$3,000 – 25%) in step with slowed development



**Payment in Lieu of Taxes**

- No impact as the Township has not changed the taxation by-law

**Grants – Federal and Provincial**

- No impact, scheduled installments are still forthcoming (OCIF, Gas Tax, OMPF)

**Reserve Transfers**

- No impact, still business as usual for capital projects

In summary, with a quarter of the year completed and seven (7) weeks since our office first closed to the public our revenues were expected to decrease.

The revenue losses will impact our budget the most in a couple of ways:

- Items like building permit revenue, marriage licencing, hall/ice rentals, etc.
  - Workload exists to satisfy these full-time positions but some will now not be devoted to revenue producing activities
- The decrease in interest rates is external but will play a role in our year-end surplus/deficit position
  - i.e. \$6,000,000 to \$10,000,000 x 0.25% (\$15,000-\$25,000)  
vs. 1.25% (\$75,000-\$125,000)

Revenue losses that won't impact us are recreation programs because, aside from the full-time costs associated, they are cost neutral.

Despite the decreased community demand for our services and the broader macro-economic environment staff have been diligent in finding efficiencies to offset at-risk revenues streams.

A few efficiencies identified to date are:

- \$25,210 – not bringing in two summer casual workers in Infrastructure Services
- \$25,000 – not bringing in one casual worker in Infrastructure for landfill, patrolling, and roadside mowing
- \$22,000 – no contract for roadside mowing in Infrastructure and Recreation
- \$22,630 – reduce landfill cover operations by 1 hour per week

Other efficiencies are being discussed but Mr. MacDonald, General Manager of Infrastructure Services has been thoughtful and diligent with taxpayer dollars while reviewing for budget efficiency.

Future reports will come to Council by Department.

## INFORMATION REPORT



**REPORT TO:** Council of the Township of South Glengarry

**MEETING DATE:** May 19, 2020

**SUBJECT:** Fire Department Monthly Update April 2020

**PREPARED BY:** Dave Robertson, Fire Chief

### OPERATIONS and RESPONSES:

- Motor Vehicle Collisions: 4
- Alarms: 1
- Medical: 0
- Burn Complaint / Unauthorized Burns: 3
- Fire – Structural: 1
- Fire – Brush / Grass: 5
- False – 0
- Notes of interest
  - o One large property fire with one barn loss. Estimated insured value of \$1.25 million. Damage loss at \$75,000 to 100,000. Residence and outbuilding protected.
  - o Burn complaints handled by Chief, Deputy Chief and Station Chiefs. This is a modified policy due to COVID-19 restrictions.
  - o Operations during COVID-19 have seen a temporary halt of tiered response medical calls.
  - o Burn ban was lifted for limited agricultural burn requirements on Apr. 22<sup>nd</sup> to allow for vegetation waste piles to be removed from cropping and livestock areas.
  - o Complete lifting of the Burn ban on Apr. 29 as Fire Services enacted processes to limit Station activations for non-emergency responses.

### TRAINING:

- DC / Training Officer is assessing all Fire and Township staff training histories.
- Individual department training needs being assessed.
- Legislated employee training proceeding.
- Design of training program with COVID-19 restraints.
- All in station training events cancelled due to COVID-19.
- Members are completing on-line learning assignments.

**BUDGETED CAPITAL ITEMS:**

- Replacement pumper truck was ordered and is being assembled for mid-May delivery.
- Fire helmet replacements have been received and are being prepped for dispersal.

**HEALTH and SAFETY:**

- COVID-19 assessment and operations reviews.
- Design of new Health and Safety message and information boards for all Township facilities.

**PROJECTS OF NOTE:**

- Emily Project / Farm 911
  - o Implementing the Farm 911 signage requirements into a revised Civic Addressing By-Law. Scheduled completion in May

## INFORMATION REPORT



**REPORT TO:** Council of the Township of South Glengarry

**MEETING DATE:** May 19, 2020

**SUBJECT:** AGCO- Temporary Change for Cideries

**PREPARED BY:** Meagan Bingley, Acting Economic Development and Tourism Coordinator

On Tuesday May 5, 2020 the Alcohol and Gaming Commission of Ontario (AGCO) temporarily removed the requirement for cideries to have five acres of planted fruit in order to qualify for a retail store. The “five-acre rule” restricted cideries that do not have five acres of orchard land from obtaining retail authorizations. Without such authorizations, these cideries were limited to selling their products through bars/restaurants, at events and in tasting rooms. They were not allowed to sell at an onsite store, nor through online sales like beer brewers can.

AGCO lifting this restriction has allowed cidery operators to maintain their customer base during COVID-19; and ensure that they are able to maintain supply chains with the local farmers who supply their apples which helps maintain jobs and revenue in multiple sectors. Please see the attached bulletin from AGCO.

This change is welcomed and allows a new local business to sell its products in a retail setting.

## New Temporary Change for Cideries to Sell Directly to Consumers

Tuesday, May 5, 2020

As part of its broader package of measures to support Ontarians and businesses that have been significantly impacted by the outbreak of COVID-19, the Government of Ontario is making it easier for cideries to sell directly to consumers.

Effective immediately, the Alcohol and Gaming Commission of Ontario (AGCO) has temporarily removed the requirement for cideries to have five acres of planted fruit in order to qualify for a retail store at their cidery.

Under this temporary policy change, cideries may qualify for a retail store without having five acres of planted fruit. Manufacturers with an on-site retail store authorized by the AGCO may also sell their products online.

An applicant cidery must hold a Manufacturer's Licence issued by the Registrar and must meet all other applicable eligibility criteria and requirements, including the requirement that the proposed store be located on the same parcel of land as the applicant's production site.

Interested cideries may apply to the AGCO for an on-site fruit winery retail store authorization through [iAGCO](#), the AGCO's online portal.

The AGCO remains committed to protecting public safety and ensuring that alcohol is sold, served and consumed in a responsible manner. Authorization holders must continue to meet all other existing requirements in the *Liquor Licence Act*, *Liquor Control Act* and regulations.

The AGCO continues to work closely with the Government of Ontario to find ways of supporting Ontarians and the sectors we regulate. Please continue to check the AGCO website for any updates or changes.

For more information contact:

### **AGCO Customer Service**

Telephone: 416-326-8700

Toll free in Ontario: 1-800-522-2876

Or via the [iAGCO](#) online portal

[Additional Resources:](#)

- For information on AGCO Manufacturer's Licence requirements, see the [Winery Retail Store Information Guide](#).
- For links to electronic versions of applicable legislation, see the AGCO [Acts and Regulations](#) web page.

**INFORMATION REPORT****REPORT TO:** Council of the Township of South Glengarry**MEETING DATE:** May 19, 2020**SUBJECT:** Consent Summary 2020**PREPARED BY:** Joanne Haley, GM Community Services

<b>#</b>	<b>Application #</b>	<b>Recommendation</b>	<b>Decision</b>
1	B-3-20	Recommended	Approved
2	B-9-20	Recommended	Approved
3	B-23-20	Recommended	Approved
4	B-27-20	Recommended	

## INFORMATION REPORT



**REPORT TO:** Council of the Township of South Glengarry  
**MEETING DATE:** May 19, 2020  
**SUBJECT:** Notice of Consent Decision  
**PREPARED BY:** Joanne Haley- GM Community Services

---

**RE: Notice of Consent Decision**

Please find attached One "Notice of Decision" letter from the United Counties of Stormont, Dundas, and Glengarry as well as the memo for the application recommending approval. The recommendations and conditions requested have been included in the decisions as requested.



UNITED COUNTIES OF  
STORMONT, DUNDAS AND GLENGARRY  
***DECISION***

The Approval Authority for the United Counties of Stormont, Dundas and Glengarry did, on **Wednesday, May 6, 2020**, decide that **PROVISIONAL CONSENT WILL BE GIVEN** to:

**APPLICATION NO. B-23-20**

**OWNER: 1655710 Ontario Ltd**

**MUNICIPALITY: South Glengarry**

The Approval Authority considered all oral and written submissions made on this application, the effect of which helped the Approval Authority make an informed decision. Conditions are the result of public and agency comments.

Provided that the following conditions are fulfilled to the satisfaction of the Administrative Assistant-Planning:

1. A review fee of \$200.00 must be paid to the Township. The Township of South Glengarry will clear the condition with the Administrative Assistant-Planning.
2. The Township of South Glengarry will complete a site visit of the severed lands to confirm that there are no issues with the existing septic systems. Further information may be required from the applicant once the site visit is completed. The applicant will be required to attend to the Township office to apply for a site visit and to file a fee of \$170.00. The Township of South Glengarry will clear the condition with the Administrative Assistant-Planning.
3. A Minor Variance must be applied for and approved to reduce the minimum lot frontage of the severed parcel. The Township of South Glengarry will clear the condition with the Administrative Assistant-Planning.
4. Trans-Northern Pipelines Inc. would require that the applicant provide us with a copy of the draft reference plan to be registered which should show the location of our easement on both the severed and retained portions. In order to ensure that the easement is correctly identified on the plan please contact Ontario One Call (1-800-400-2255) to obtain a locate. TNPI will clear the condition with the Administrative Assistant-Planning.
5. The City of Cornwall has jurisdiction along Boundary Road from a right-of-way and access permission perspective, therefore, the severed parcel will not be permitted to establish a future additional access from/to Boundary Road. The City of Cornwall will clear the condition with the Administrative Assistant-Planning.
6. That the Administrative Assistant-Planning be provided with a description of the land to be conveyed that is consistent with the application and sufficient and equal to that required for the registration of a deed or other conveyance of land under the provisions of the Registry Act. Three (3) copies of the new deed for the severed parcel are to be provided to the Administrative Assistant-Planning for the issuance of the certificate of the Secretary, and the stamping fee of \$225.00 must accompany the deeds. Upon providing a paper copy of the Deposited Reference Plan to the Administrative Assistant-Planning, a digital copy, which can be emailed, in a PDF or TIF format must also be submitted.



**DEPARTMENT OF TRANSPORTATION  
AND PLANNING SERVICES**

26 Pitt Street, Suite 223, Cornwall, Ontario K6J 3P2

Tel: 613-932-1515 • Fax: 613-936-2913 • Email [info@sdgcounties.ca](mailto:info@sdgcounties.ca) • [www.sdgcounties.ca](http://www.sdgcounties.ca)

## NOTICE OF DECISION

### APPLICATION NO. B-23-20

**NAME:** 1655710 Ontario Ltd.

**MUNICIPALITY:** Township of South Glengarry (Former Geographic Charlottenburgh Twp.)

Attached is a copy of the Decision with respect to the above noted Application for Consent.

You may be entitled to receive notice of any changes to the conditions of the provisional consent if you have made either a written request to be notified of the Decision or a written request to be notified of changes to the conditions.

The applicant and every agency or other person to whom Notice of Decision is sent, may, within **twenty (20) days** of the date of giving the Notice of Decision, appeal to the Local Planning Appeal Tribunal:

- a) the Decision of the Approval Authority; and/or
- b) any or all of the conditions imposed by the Approval Authority.

**Any appeal to the Local Planning Appeal Tribunal must be made on the proper Appellant Form (A1), which can be obtained from this office. You must enclose the appeal fee of \$300.00 for each application appealed, paid by certified cheque or money order, made payable to the Minister of Finance. The completed Appellant Form and payment are to be returned to the Administrative Assistant-Planning, United Counties of S. D. & G. who will forward all documents to the Local Planning Appeal Tribunal.**

Only individuals, corporations and public bodies may appeal decisions in respect of applications for consent to the Local Planning Appeal Tribunal. A notice of appeal may not be filed in the name of an individual who is a member of the association or group.

Additional information regarding this application and decision is available during business hours at the office of the Administrative Assistant - Planning, at the above address or by calling the office at **932-1515, Extension 218**.

**LAST DATE TO SUBMIT AN APPEAL ON THIS DECISION IS:** May 26, 2020

**Date of giving of this notice is:** May 6, 2020

Katie Coristine  
Administrative Assistant-Planning  
Email: [kcoristine@sdgcounties.ca](mailto:kcoristine@sdgcounties.ca)

## INFORMATION REPORT



**REPORT TO:** Council of the Township of South Glengarry

**MEETING DATE:** May 19, 2020

**SUBJECT:** Consent Application B-27-20

**PREPARED BY:** Joanne Haley- GM Community Services

**RE: B-27-20**  
**Part Lot 12, Concession 7**  
**Former Township of Charlottenburgh**  
**Horan/Marcotte**

**Type of Consent: To Create a Building Lot**

**Subject:**

The subject property is located on part of lot 12, Concession 7, on the west side of Glen Roy Road. The purpose of this application is to sever approximately 9.7 acres of vacant land and to retain approximately 10 acres of developed land.

**Official Plan Designations:**

The subject property is designated Rural in the County Official Plan. Section 8.14.13.3. D. I of the County Official Plan indicates that “up to two consents for residential purposes may be granted for a legally conveyable lot, excluding the retained lot where the approval authority is satisfied that a plan of subdivision of the land is not necessary for the proper and orderly development of the land; where the lot existed as of January 1, 1980 and where the land is located in the Rural District as shown on the Land Use Plan Schedules. This proposed consent conforms to the Official Plan.

**Zoning By-law:**

The subject property is zoned Rural in the Township’s Zoning By-Law. This proposed consent conforms to the Zoning By-law.

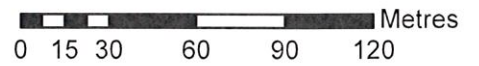
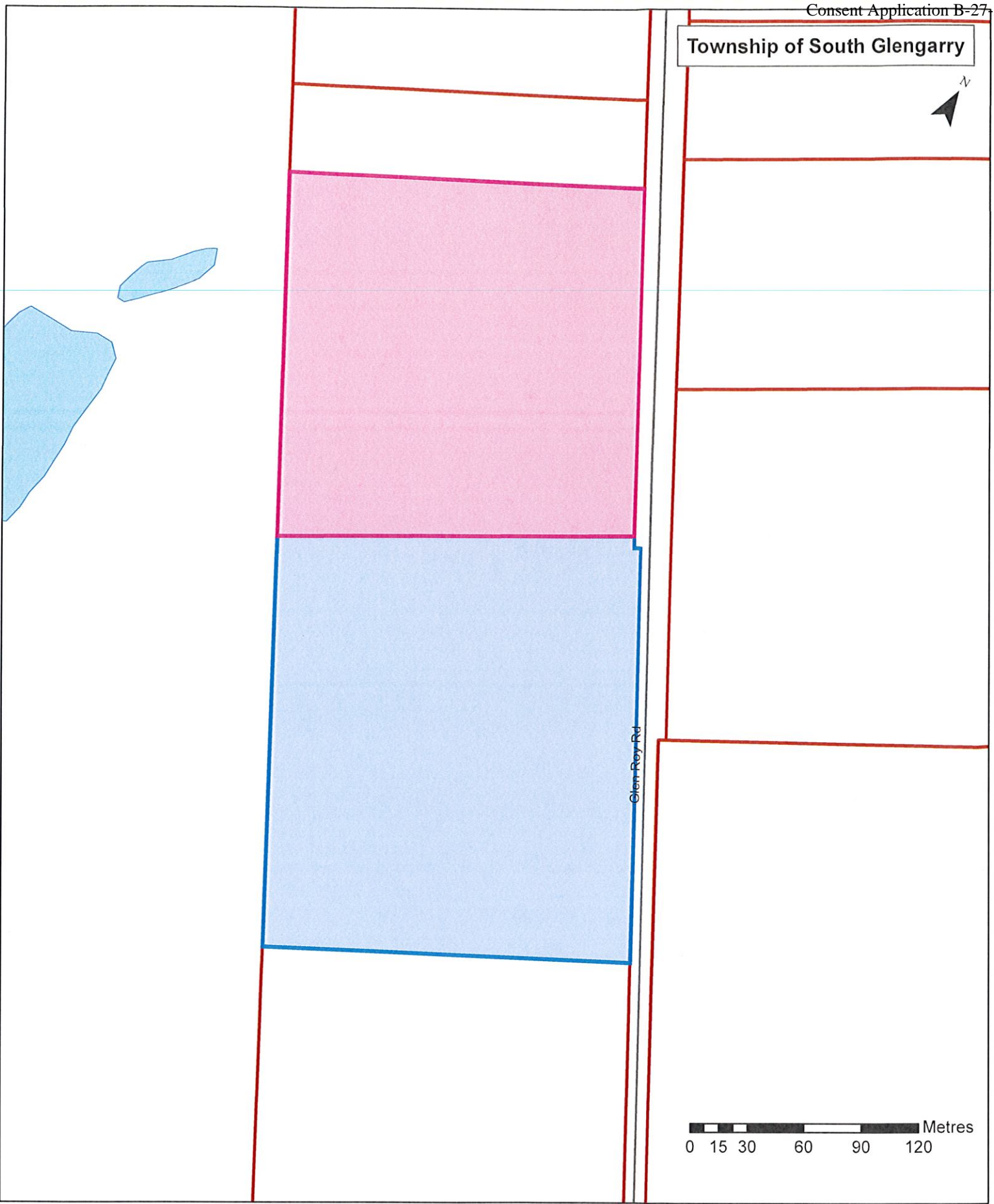
**Proposed Recommendation:**



That the United Counties of SDG Manager of Planning approves this application for consent as it conforms to the PPS, the Official Plan and the Zoning By-Law. This consent will be subject to the following conditions:

1. A review fee of \$200.00 must be paid to the Township.
2. A Parkland fee of \$1,000.00 must be paid to the Township.
3. That Road widening must be deeded to the Township on both the severed and retained parcels.
4. The Township of South Glengarry will complete a site visit of the severed lands to confirm that there are no issues with the existing septic system. Further information may be required from the applicant once the site visit is completed. The applicant will be required to submit a completed septic inspection form and fee of \$170 to the Township office to apply for a site visit.



Township of South Glengarry



-  Retained ~ 10.0 acres
-  Severed ~ 9.72 acres

Application Number: B-27-20





**The Corporation of the Town of Grimsby  
Administration**

Office of the Town Clerk  
160 Livingston Avenue, P.O. Box 159, Grimsby, ON L3M 4G3  
**Phone:** 905-945-9634 Ext. 2015 | **Fax:** 905-945-5010  
**Email:** [skim@grimsby.ca](mailto:skim@grimsby.ca)

May 6, 2020

SENT VIA EMAIL

The Honourable Justin Trudeau  
Prime Minister of Canada  
80 Wellington Street  
Ottawa, ON K1A 0A2

The Honourable William Francis Morneau  
Minister of Finance  
90 Elgin Street  
Ottawa, ON K1A 0G5

The Honourable Doug Ford  
Premier of Ontario  
Legislative Building  
Queen's Park  
Toronto, ON M7A 1A1

Dear Prime Minister Trudeau, Minister of Finance Morneau and Premier Ford:

**Re: Support for Commercial Rent Assistance Program**

At its meeting of May 4, 2020, the Town of Grimsby Council passed the following resolution:

*Moved by Councillor Ritchie; Seconded by Councillor Vaine;  
Whereas these are unprecedented times that have not been seen in generations;  
and,  
Whereas on April 16, 2020 the Canadian Federal Government announced a new  
program called the Canada Emergency Commercial Rent Assistance; and,  
Whereas this program is to be developed in unison with the Provincial and  
Territorial counterparts; and,*



**The Corporation of the Town of Grimsby  
Administration**

Office of the Town Clerk  
160 Livingston Avenue, P.O. Box 159, Grimsby, ON L3M 4G3  
**Phone:** 905-945-9634 Ext. 2015 | **Fax:** 905-945-5010  
**Email:** [skim@grimsby.ca](mailto:skim@grimsby.ca)

*Whereas this program is to provide relief to small business (in Grimsby and throughout Canada) with their rent for the months of April, May, and June; and,  
Whereas many Provincial programs have been announced to date but have generally aimed at the residential, rather than the commercial, rent markets; and,  
Whereas many small businesses in the Town of Grimsby have been affected financially due to COVID-19, thus making rent payments difficult;  
Therefore be it resolved that the Town of Grimsby endorse this program whole heartedly, and request the Federal Government of Canada to work with its Provincial and Territorial Partners to expedite this program and offer this program as soon as possible; and,  
Be it further resolved that the Town of Grimsby ask the Federal Government, and Provincial and Territorial Partners look at the possibility of extending this program if the impacts of COVID-19 continue past the month of June; and,  
Be it further resolved that the Town of Grimsby ask the Federal Government and its Provincial, and Territorial Partners to make this program 100 percent forgiving to the small businesses effected; and,  
Be it further resolved that this motion be distributed to the Right Honourable Prime Minister of Canada, the Honourable Minister of Finance, the Honourable Premier of Ontario, and all municipalities in Ontario*

Regards,

A handwritten signature in black ink, appearing to read 'Sarah Kim', with a long, sweeping flourish at the end.

Sarah Kim  
Town Clerk

SK/dk

Cc: Ontario Municipalities



**The Corporation of the Town of Grimsby  
Administration**

Office of the Town Clerk

160 Livingston Avenue, P.O. Box 159, Grimsby, ON L3M 4G3

**Phone:** 905-945-9634 Ext. 2015 | **Fax:** 905-945-5010

**Email:** [skim@grimsby.ca](mailto:skim@grimsby.ca)



OFFICE OF THE MAYOR  
CITY OF HAMILTON

April 23, 2020

The Honourable David Lametti  
Minister of Justice and Attorney General of Canada  
284 Wellington Street  
Ottawa, Ontario K1A 0H8

The Honourable Doug Ford  
Premier of Ontario  
Legislative Building  
Queen's Park  
Toronto, ON M7A 1A1

The Honourable Doug Downey  
Attorney General  
McMurtry-Scott Building, 11<sup>th</sup> Floor  
720 Bay Street  
Toronto, ON M7A 2S9

**Subject: Request to Regulate and Enforce Odour and Lighting Nuisances  
Related to the Cultivation of Cannabis Plants**

Dear Minister/Attorney General Lametti, Premier Ford and Attorney General Downey:

At its meeting of April 22, 2020, Hamilton City Council approved Item 5.4(d), which reads as follows:

**5.4 (d) Repeal and Replace Public Nuisance By-law 09-110 and Amend  
Administrative Penalty By-law 17-225 (PED20076) (City Wide)**

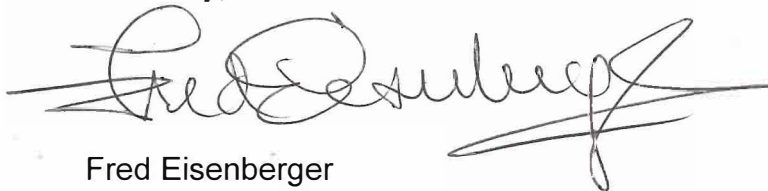
- (a) That the draft by-law, attached as Appendix "A" to Report PED20076, which repeals and replaces By-law 09-110, being a By-law to Prohibit and Regulate Certain Public Nuisances within the City of Hamilton, and amends the Administrative Penalties By-law 17-225 which has been prepared in a form satisfactory to the City Solicitor, be approved and enacted by Council;
- (b) That the Mayor be directed, on behalf of the City of Hamilton, to write to the relevant federal and provincial governments to regulate

and enforce odour and lighting nuisances related to the cultivation of cannabis plants;

- (c) That the Mayor contact the Premier of Ontario, Minister of the Attorney General, and local Members of Parliament to request that the Province extend authority to Municipalities to enforce odor and lighting nuisance complaints stemming from licensed and unlicensed cannabis cultivations within the its jurisdiction; and,
- (d) That the request be sent to other municipalities in Ontario, including the Association of Municipalities of Ontario for their endorsement.

We respectfully request your consideration with regard to this request and look forward to your response.

Sincerely,



Fred Eisenberger  
Mayor

Copied:

The Honourable Filomena Tassi, M.P., Hamilton West, Ancaster, Dundas  
Scott Duvall, M.P., Hamilton Mountain  
Bob Bratina, M.P., Hamilton East-Stoney Creek  
David Sweet, M.P., Flamborough – Glanbrook  
Matthew Green, M.P. , Hamilton Centre  
Andrea Horwath, Opposition Party Leader, NDP of Ontario, M.P.P Hamilton Centre  
Monique Taylor, M.P.P., Hamilton Mountain  
Paul Miller, M.P.P., Hamilton East-Stoney Creek  
Donna Skelly, M.P.P., Flamborough-Glanbrook  
Sandy Shaw, M.P.P. Hamilton West-Ancaster-Dundas  
Association of Municipalities of Ontario  
Municipalities of Ontario



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**DISTRICT OF PARRY SOUND**

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56 ONTARIO STREET  
PO BOX 533  
BURK'S FALLS, ON  
POA 1C0

(705) 382-3332

(705) 382-2954

Fax: (705) 382-2068

Email: [info@armourtownship.ca](mailto:info@armourtownship.ca)

Website: [www.armourtownship.ca](http://www.armourtownship.ca)

April 29, 2020

Honourable Doug Ford  
Premier of Ontario  
Legislative Building  
Queen's Park  
Toronto, ON M7A 1A1

Re: Support Resolution - High Speed Internet Connectivity in Rural Ontario

At its meeting held on April 28, 2020, the Council of the Township of Armour passed Resolution #6 supporting our Councillor Rod Ward's letter regarding the need to make substantial investments in high-speed internet connectivity in the rural areas of Ontario.

A copy of Council's Resolution #6 dated April 28, 2020 and Councillor Ward's letter is attached for your consideration.

Sincerely,

A handwritten signature in blue ink that reads "Charlene Watt". The signature is written in a cursive, flowing style.

Charlene Watt  
Deputy Clerk

Cc: MPP Norm Miller, MP Scott Aitchison and Ontario Municipalities

Enclosures



**CORPORATION OF THE TOWNSHIP OF ARMOUR**

**RESOLUTION**

**Date:** April 28, 2020

**Motion #** 6.

That the Council of the Township of Armour supports the letter, dated April 15, 2020 from Councillor Rod Ward, on the need to make substantial investments in high-speed internet connectivity in rural areas. Furthermore, that this resolution and the letter be circulated to Scott Aitchison, MP for Parry Sound-Muskoka, Norm Miller, MPP for Parry Sound-Muskoka and all Ontario municipalities requesting their support.

**Moved by:**

Blakelock, Rod	<input type="checkbox"/>
Brandt, Jerry	<input checked="" type="checkbox"/>
MacPhail, Bob	<input type="checkbox"/>
Ward, Rod	<input type="checkbox"/>
Whitwell, Wendy	<input type="checkbox"/>

**Seconded by:**

Blakelock, Rod	<input checked="" type="checkbox"/>
Brandt, Jerry	<input type="checkbox"/>
MacPhail, Bob	<input type="checkbox"/>
Ward, Rod	<input type="checkbox"/>
Whitwell, Wendy	<input type="checkbox"/>

Carried / Defeated

*[Signature]*

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**Declaration of Pecuniary Interest by:**

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**Recorded vote requested by:**

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<u>Recorded Vote:</u>	For	Opposed
Blakelock, Rod	<input type="checkbox"/>	<input type="checkbox"/>
Brandt, Jerry	<input type="checkbox"/>	<input type="checkbox"/>
MacPhail, Bob	<input type="checkbox"/>	<input type="checkbox"/>
Ward, Rod	<input type="checkbox"/>	<input type="checkbox"/>
Whitwell, Wendy	<input type="checkbox"/>	<input type="checkbox"/>

April 15, 2020

To whom it may concern,

The COVID-19 pandemic in Ontario has highlighted both our positive responses to a crisis, and some definite shortcomings in infrastructure, systems and services which need to be addressed on a long-term basis. Setting priority on solving these issues will be a challenge, given the differing agendas and the strained budgets. Solving fundamental issues should focus on the most basic needs as a starting point. One of the clear needs in a rural community such as the Almaguin Highlands, highlighted further by recent events, is the need for proper high-speed internet connectivity. Healthcare and education are both going down a path where appropriate connectivity is assumed. Like many models that move outward from metropolitan areas, this assumption is lost on rural areas. For the vast majority of households in our community, true high-speed connectivity simply does not exist. For the vast majority of future strategies in healthcare and education, there is an assumption that it does exist.

Even in areas in the Almaguin Highlands which have 'high-speed' internet, the overall infrastructure is still limited. It is certainly not designed to deal with a sudden huge peak in demand. Whereas the capacity in large urban centres is built to handle the added throughput, there are clear limitations here. The best way to explain it is a comparison to hydro. Imagine if everyone went home at the same time and turned their lights on, but because there wasn't enough hydro capacity overall, all lights were 50% dimmer than normal and some appliances simply didn't work. We no longer have to imagine what happens with internet speed during peak usage. Suddenly during the COVID pandemic, people are working from home who have never worked from home. Kids are trying to do courses on-line. People who are not working are turning on-line to stay connected. Video-conferencing, which was a totally foreign concept to many, is now part of daily routine. Any idea how much internet bandwidth video uses? It's no wonder we hit a wall.

The future of healthcare sees patients being monitored and cared for in their own homes, through the use of technology. The future of education sees students doing much of their learning on-line. The future of business and commerce sees the ability to function outside the 'bricks and mortar' of an office location. Malls disappear and on-line shopping is the norm. For some, that future has already arrived. Our area has already been drastically affected by cutbacks in the area of healthcare and education through gradual decreases in budgets and services. Technology offers us the ability to level the playing field to a great extent. High-speed connectivity cannot be seen as a luxury or a nice-to-have, any more than hydro should be seen that way. In order to solve some other problems (i.e. skyrocketing budgets in healthcare and education) the wise investment is in providing connectivity for every resident in the province.



Rod Ward  
Councillor  
Armour Township

# Children's Treatment Centre

## Centre de traitement pour enfants

Tel: 613 933-4400

Fax: 613 933-3984

ctc-sdg@cogeco.net

www.childrenstreatmentcentre.ca

305A Second St. East  
305A, Deuxième Rue Est  
Cornwall, ON K6H 1Y8

### PATRONS / SOUS LE PATRONAGE DE:

Sean Adams  
Denis Beaudry  
Jean & Patricia Bougie  
Daniel Brunet  
John Callaghan  
Lynn Chauvin  
Milton & Claire Ellis  
Kieran Kennedy  
Chantal Lajoie  
Hon. Edward C. & Mrs. Pat Lumley  
Allan MacEwen  
Fr. Kevin Maloney  
Teresa Pagnotta  
Archbishop Terrence Prendergast, S.J.  
The Rev. Dr. Fred & Johncen Rennie  
Todd Rozon  
Jeanette Scrimshaw  
Mary Thibeault  
Judith Wilcox

### SPONSORED BY/ EN PARTIE FINANÇÉ PAR:

Air Canada Foundation  
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The Commonwell Mutual  
Insurance Group  
The Robert Campeau  
Family Foundation  
Rozon Insurance Brokers Ltd.  
Scotiabank  
Standard-Freeholder  
Your TV

May 8, 2020



Dear Friends of the Children's Treatment Centre,

The purpose of this letter is to inform you about the current situation at the Children's Treatment Centre and our future plans.

### Operations Update

On March 16, due to the CoVid-19 pandemic, the CTC Board closed the Centre in order to protect the safety and well-being of our staff and the children and families that we serve. Despite this closure, our counsellors are maintaining weekly telephone contact with children and their parents to give them support and help them deal with issues that they may be facing. Dr. Beth Pollock, our Clinical Psychologist, is also available for consultation with clinical staff, as needed. Furthermore, we have provided our clients with the names and telephone numbers of other agencies to call for help in emergency situations.

As the CoVid-19 pandemic evolves, the CTC will continue to monitor provincial directives and dialogue with Dr. Paul Roumeliotis, Medical Officer of Health/Chief Executive Officer of the Eastern Ontario Health Unit, to seek his advice regarding when it will be safe to re-open the Centre. We will also seek his input on the safety measures that we need to put in place before children and parents resume face- to-face sessions with their counsellors.

### Fundraising

The CTC is funded entirely through our own local fundraising efforts. Sadly, the CoVid-19 pandemic has dictated that, for the foreseeable future, our normal fundraising activities cannot proceed as planned. Bike-A-Thon Plus, the Centre's second largest fundraising event, scheduled for May 30, 2020, has been cancelled. Furthermore, at this time, it is unclear whether or not we will be able to hold any of our other public fundraising events planned for the fall:

**Boxing for Change  
Dinner & Roast  
Celebrity Walk & Breakfast  
The Hockey Road Trip Raffle**

PROVIDING HOPE AND HEALING TO CHILDREN AND THEIR FAMILIES FOR OVER 23 YEARS  
FOURNISSANT ESPOIR ET GUÉRISON POUR LES ENFANTS ET LEURS FAMILLES PENDANT PLUS DE 23 ANS



**Page 2**

The Centre has applied to the Federal Wage Subsidy program and we are hopeful that we will qualify for a grant to help cover staff salaries. We have also trimmed operating expenses. BMO Bank of Montreal, a longstanding major sponsor of Bike-A-Thon Plus, has committed to providing the Centre with \$10,000 despite the cancellation of this year's Bike-A-Thon event.

Many families and businesses have suffered as a result of the disruption triggered by the CoVid-19 pandemic. We understand that this reality will erode the capacity of many of our long-standing supporters to donate to the CTC in 2020. Hopefully, those who have been spared financial hardship will see fit to continue to support the Centre by making a direct, tax deductible donation.

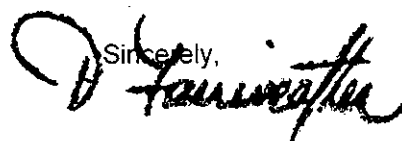
Our Future

Twenty-four years ago, a group of visionary leaders identified a community need, initiated local fundraising and established the Children's Treatment Centre to provide support to abused children and their families. Since then, the Centre has provided hope and healing to 2,746 children from 2,373 families. All of this was possible due to the commitment of an army of volunteers, a dedicated staff and strong community support.

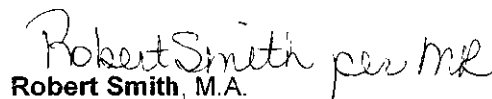
Moving forward, the CTC Board, Staff and Volunteers are resolved to demonstrate the same optimism, commitment and dedication as the founders of the Centre did 24 years ago. By working together, in 2020 and beyond, our community can ensure that the CTC survives the CoVid-19 pandemic and thrives for years to come.

On June 18, 2021, the Children's Treatment Centre will attain the milestone of providing 25 years of free, confidential counselling to child abuse victims and families in Cornwall, SDG and Akwesasne. This will be an occasion to celebrate the devotion, generosity and caring of our many donors and volunteers. It will also be an opportunity to recognize the extraordinary service that the Centre's clinical team and office staff have provided to abused children and their families. We are confident that it will also be a moment to acknowledge our success in overcoming the challenges posed by the CoVid-19 pandemic!

For now, may you and your loved ones stay healthy, safe and strong.

Sincerely,  


**Don Fairweather** *President*  
Board of Directors



**Robert Smith, M.A.**  
Executive Director

**UNFINISHED BUSINESS REPORT**  
**Presented to Council May 19, 2020**

<b>INFRASTRUCTURE SERVICES</b>					
<b>No.</b>	<b>Item</b>	<b>Date Added</b>	<b>Expected Completion</b>	<b>Status</b>	<b>Update</b>
1.	Docks on Township Property	JAN 2016	Summer 2020	Ongoing	Met with Residents on Tuesday March 3 <sup>rd</sup> . Will pursue option of selling lands to adjacent property owners. Property was declared surplus at the April 20 <sup>th</sup> Council Meeting. Survey and Legal Agreements to be completed over next few months. Met with Surveyor to review Parcels. Forwarded file to Lawyer for preparation of documents
2.	Fire Protection Ponds	MAY 2016	Summer 2020	Ongoing	Design completed for Richmond Road Pond. Awaiting confirmation from PacTiv for a meeting to discuss project. Further discussion on the options for the Midway Pond to be scheduled in May/June.
3.	Municipal Servicing from City of Cornwall	MAY 2016	Fall 2020	Ongoing	Township to present a report to an upcoming City of Cornwall Council Meeting. Consultant to complete review of Watson and EVB Reports Will include this item for discussion with Steering Group as part of the Glen Walter EA Study.

					Will provide report on their findings for the June 1st Council Meeting.
4.	Private Roads (development of document)	FEB 2017	Fall 2020	Ongoing	Will collect and review Policy's from other Municipalities over the summer and draft Policy for Council review in the fall.
5.	Williamstown Garage & Fire Hall	MAY 2018	Spring 2020	Ongoing	Funding approved in Budget. Location approved at the April 6 <sup>th</sup> Council Meeting Design of Building to be completed and provided to Council in May prior to the issue of the Tender Staff Report to provide Council will a copy of plans on May 19 <sup>th</sup> Agenda
6.	LED Streetlights (Glen Walter)	MAR 2019	Fall 2020	Ongoing	Met with Cornwall Electric on February 20 to review LED Street Light Project. Will follow up with inventory and costs for ongoing discussions. Have contacted Cornwall Electric to follow up on progress of review.
11.	Review of Waste Management Program	Dec 2019	Fall 2020	Ongoing	Landfill/Environment Committee to review tender documents in 2020. Have requested one-year extensions on current contracts for waste and recycling collection SDG County Waste Management Strategy RFP closed on April 15 <sup>th</sup> . Study has been awarded by SDG Report to Council on Scope of Project for the May 19 <sup>th</sup> Meeting
<b>COMMUNITY SERVICES</b>					

12.	Hamlet Signage Policy	JUNE 2019	DEC 2019	Ongoing	Final draft sign examples are on this agenda. The final draft sign policy will be brought to Council for approval at a future meeting.
<b>CORPORATE SERVICES</b>					
12.	Review of Water Rates	APR 2019	FALL 2019	On Hold	Report will be going to Council on June 1, 2020
14.	Water Bill Design	AUG 2019	DEC 2019	Ongoing	Report will be going to Council on June 1, 2020
<b>FIRE</b>					
16.	Civic Signage Project	JUNE 2019	Spring 2020	Ongoing	Third reading on this agenda

**SG-M-20**

**THE CORPORATION OF THE  
TOWNSHIP OF SOUTH GLENGARRY  
BY-LAW 28-2020  
FOR THE YEAR 2020**

***BEING A BY-LAW TO ADOPT, CONFIRM AND RATIFY MATTERS  
DEALT WITH BY RESOLUTION.***

**WHEREAS** s.5 (3) of the *Municipal Act, 2001*, provides that the powers of municipal corporation are to be exercised by its Council by by-law; and

**WHEREAS** it is deemed expedient that the proceedings, decisions and votes of the Council of the Corporation of the Township of South Glengarry at this meeting be confirmed and adopted by by-law;

**THEREFORE** the Council of the Corporation of the Township of South Glengarry enacts as follows:

1. **THAT** the action of the Council at its regular meeting of May 19<sup>th</sup>, 2020 in respect to each motion passed and taken by the Council at its meetings, is hereby adopted, ratified and confirmed, as if each resolution or other action was adopted, ratified and confirmed by its separate by-law; and;
2. **THAT** the Mayor and the proper officers of the Township of South Glengarry are hereby authorized and directed to do all things necessary to give effect to the said action, or to obtain approvals where required, and except where otherwise provided, The Mayor and the Clerk are hereby directed to execute all documents necessary in that behalf and to affix the corporate seal of the Township to all such documents.
3. **THAT** if due to the inclusion of a particular resolution or resolutions this By-law would be deemed invalid by a court of competent jurisdiction then Section 1 to this By-law shall be deemed to apply to all motions passed except those that would make this By-law invalid.
4. **THAT** where a "Confirming By-law" conflicts with other by-laws the other by-laws shall take precedence. Where a "Confirming By-law" conflicts with another "Confirming By-law" the most recent by-law shall take precedence.

***READ A FIRST, SECOND AND THIRD TIME, PASSED, SIGNED AND  
SEALED IN OPEN COUNCIL THIS 19<sup>th</sup> DAY OF MAY 2020.***

**MAYOR:**

**CLERK:**